

Development Management Committee – 22nd June 2026

Application Number: 25/02130/FUL

Proposal: Proposed residential development of 21no homes including road infrastructure, landscaping and other associated infrastructure

Location: Land West of Longlands Close, Warboys

Applicant: Seagate Homes (Uk) Ltd

Agent: Jack Gandy, Pegasus Group

Case Officer: Charlotte Dew

Parish: Warboys

Reason for Referral: This application is referred to the Development Management Committee (DMC) as the Officer recommendation for approval is contrary to the recommendation of Warboys Parish Council.

Committee Date: 22nd June 2026

EXECUTIVE SUMMARY OF PROPOSALS AND RECOMMENDATION

RECOMMENDATION: THAT THE HEAD OF PLANNING, INFRASTRUCTURE & PUBLIC PROTECTION BE GIVEN DELEGATED POWERS TO GRANT PLANNING PERMISSION FOR THE DEVELOPMENT SUBJECT TO A RESOLUTION ON BNG BASELINE MATTERS, OBTAIN A COUNTERSIGNED IMPACT ASSESSMENT AND CONSERVATION PAYMENT CERTIFICATE (IACPC), CONDITIONS AND SUBJECT TO A S106 LEGAL AGREEMENT

Proposal

The application seeks full planning permission for the erection of 21 dwellings, together with a new vehicular access from Longlands Close Warboys, open space, Sustainable Urban Drainage (SuDs) features and associated infrastructure. The proposed scheme comprises a mix of two storey detached, semi-detached and terraced dwellings. Of the 21 units, 9 (42.9%) are proposed as affordable homes.

Consultations

The following consultees have raised **objections** to the application:

- Warboys Parish Council and Landscape Officer

The following consultees have raised **no objections** to the application:

- Warboys Parish Council, Ecology Officer, Local Highways Authority, Conservation Officer, Environmental Health Officer, Arboricultural Officer, Affordable Housing Officer, Urban Design Officer, Lead Local Flood Authority, Anglian Water, Active Lifestyles Officer and CCC Archaeology.

Six letters of objection have been received, and no letters of support have been received.

Conclusion

The application has been assessed against the relevant policies in the NPPF, the adopted Local Plan and other relevant guidance as listed in detail at Section 8 of the report.

The key issues arising from the application details are:

- Principle of development
- Design, visual amenity, impact on the character and appearance of the area and on heritage assets
- Housing mix including affordable housing
- Flood risk and drainage
- Residential amenity
- Highway safety, access and parking provision
- Trees
- Biodiversity
- Other matters
- Developer contributions

The report looks into the key planning issues in detail, and Officers conclude that the proposal is acceptable subject to conditions.

Members are advised that the above is a summary of the proposals and key issues contained in the main report below which provides full details of all consultation responses, planning policies, the Officer's assessment and recommendations, and Members are advised that this summary should be read in conjunction with the detailed report.

MAIN REPORT

1 APPLICATION SITE AND LOCALITY

- 1.1 The application site forms part of the allocation for residential development of approximately 45 homes under Policy WB 1 of the Adopted Local Plan.
- 1.2 The application site is located on the western edge of Warboys, set back from Ramsey Road, and extends approximately 0.65 hectares of the wider 1.7-hectare allocation. The site comprises arable land and is generally flat, with little variation in levels across its extent. The northern, southern and western boundaries are defined by established hedgerows interspersed with trees, while the eastern boundary adjoins the rear gardens of Nos. 6, 7 and 9 Longlands Close and is defined by a combination of close-board fencing and hedgerows.
- 1.3 Immediately south is a paddock which forms part of the allocation and has outline and reserved matters consent for the erection of 24 no. dwellings including affordable housing (Use Class C3) together with parking areas, landscaping and other associated infrastructure, following the demolition of no.21 Ramsey Road and associated outbuildings (ref 20/00308/OUT and 23/02505/REM). Agricultural fields are located to the north and west of the site.
- 1.4 Warboys village centre lies approximately 300 metres to the east and provides a range of local services and amenities.
- 1.5 The application site is entirely located within Flood Zone 1, as defined by the Environment Agency's Flood Map for Planning and the Strategic Flood Risk Assessment (SFRA 2024), and is therefore at low risk of fluvial flooding. Environment Agency surface water mapping identifies isolated areas of the site as having a low to medium risk of surface water flooding, with an annual probability of between 1% and 3.3%, and other areas with a low probability of flooding of between 0.1% and 1% per annum. The site is not identified as susceptible to groundwater flooding.
- 1.6 The main bulk of the site is outside the Warboys Conservation Area which lies approximately 10 metres to the south/southwest, however the access itself at the Longlands Close/Warboys Road Junction is adjacent to the Conservation Area. The closest Listed Building is Dovecote to the Rear of No. 17 Ramsey Road and southeast of the application site by approximately 60m.

2 DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1 The application seeks full planning permission for the erection of 21 dwellings, together with a new vehicular access from Longlands Close Warboys, open space, SuDs features and associated infrastructure. The proposed scheme comprises a mix of two storey detached, semi-detached and terraced dwellings. Of the 21 units, 9 (42.9%) are proposed as affordable homes.
- 2.2 Amendments have been received during the consideration of this application, which have been consulted upon accordingly.
- 2.3 With regard to the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 the development does not meet the criteria to

require a detailed screening opinion, as the application proposes less than 150 dwellings. It is therefore not anticipated that the project would have significant environmental effects and is therefore not considered to be EIA development.

- 2.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

3 RELEVANT PLANNING HISTORY

- 3.1 The following planning history is considered relevant to the current proposal:
- 1102033OUT- Erection of 17 dwellings including 9 affordable units- Refused 15.03.2012.
- 3.2 Planning history associated with the site to the south/ remaining portion of the allocated site:
- 25/80248/COND-Discharge of Conditions 2 (Materials), 4 (Hard Surfaces and Parking Delineation), 5 (Architectural Details) and 6 (Management and Maintenance of Streets) of 23/02505/REM.- Pending consideration.
 - 25/80165/COND-Discharge of Condition 2 (Materials), 4 (Hard Landscaping), 5 (Architectural Details) and 6 (Street Maintenance) of 23/02505/REM.- Refused 25.07.2025.
 - 25/80164/COND-Discharge of conditions C12 (Written Scheme of investigation), C13 (Site investigation information), C19 (CEMP), C24 (Hard surfacing), C25 (Vehicular access) & C29 (Footpaths, roads, access, lighting) in relation to 20/00308/OUT-Details discharged 28.07.2025
 - 25/80112/COND-Discharge of conditions 3 (Tree Pit Details) and 9 (Traffic Management Plan) of 23/02505/REM- Details discharged 14.07.2025
 - 25/80249/COND- Discharge of Condition 17 (Fire Hydrants) and 22 (Bat Licence) of 20/00308/OUT.-Details discharged 19.12.2025
 - 26/00152/NMA- Non-material amendment of 23/02505/REM to the restricted flow of the Attenuation Basin-Refused 23.02.2026
 - 23/02505/REM-Reserved Matters Application for Appearance, Landscaping, Layout and Scale (Access agreed at Outline) following the outline approval of 20/00308/OUT for erection of 24no. dwellings, including affordable housing (Use Class C3) together with parking areas, landscaping and other associated infrastructure, following the demolition of no.21 Ramsey Road and associated outbuildings.- Details Acceptable 27.09.2024
 - 20/00308/OUT-Outline planning application with all matters reserved apart from access for the erection of up to 24 residential dwellings, including affordable housing (Use Class C3) together with parking areas, landscaping and other associated infrastructure, following the demolition of no.21 Ramsey Road and associated outbuildings.-Permitted 15.10.2021.

4 RELEVANT PLANNING POLICY AND GUIDANCE

Statutory Duty

- 4.1 Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.
- 4.2 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities when considering development that affects the setting of a listed building or its setting to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 4.3 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities when considering development to pay special attention to preserving or enhancing the character or appearance of a conservation area.

RESPONSE TO CONSULTATION

- 4.4 Below is a summary of the consultation responses received at the time of writing this report. Responses are available to view in full on the Council's website.

Consultee Name	Position	Comment
Warboys Parish Council	Objection.	The Parish Council objects on highway and infrastructure grounds, citing that 21 dwellings would increase traffic on the narrow, unadopted Longlands Close, causing safety risks and congestion, with further cumulative impacts on Ramsey Road. It maintains that unresolved access, ownership, drainage, and sewer issues mean the development has not demonstrated it can be delivered safely or sustainably.
Local Highways Authority (LHA)	No objection.	The proposed layout is acceptable in design and safety terms, with minor matters such as maintenance provision and tree root protection to be secured through a Section 38 Agreement and planning conditions.
Conservation Officer	No objection.	Although the adjacent site (20/00308/OUT) was previously considered to cause heritage harm, this site forms part of a wider

		housing allocation and lies further from the conservation area boundary, and therefore no further conservation comments are made.
Environmental Health Officer	No objection.	No objection is raised; however, given the site's potential history of contamination, a land contamination risk assessment (and, if necessary, remediation and verification) should be secured by condition prior to development and occupation.
Arboricultural Officer	No objection.	The submitted Arboricultural Impact Assessment demonstrates that impacts on trees would be low, with a Tree Protection Plan to be secured by condition should members be minded to permit the development.
Affordable Housing Officer	No objection.	The revised affordable housing mix and tenure is acceptable.
Urban Design Officer	No objection.	Following the submission of amended plans, the proposal is now supported in design terms.
Lead Local Flood Authority (LLFA)	No objection.	No objection is raised; although initial concerns regarding insufficient drainage information were identified by the LLFA, subsequent submissions have addressed these matters, with the outstanding CCTV survey requirement to be secured by condition should Members be minded to permit the development.
Anglian Water	No objection.	Oldhurst Wastewater Recycling Centre and the sewerage network have capacity to accommodate the development, although the proposed surface water connection relies on a non-Anglian Water sewer, requiring the applicant to obtain the owner's permission.
Active Lifestyles Officer	No objection.	A development of 21 dwellings would generate a S106 contribution for Outdoor Formal Sports of £12,670.25. This contribution can be used to support ancillary provision at Warboys Sports Field or Warboys Bowls Club known as The White Hart Bowls Club.

Environment Agency (EA)	No comment.	The application above falls outside of the EA's Development Management Procedure Order (DMPO) checklist. There are no constraints within our remit and therefore we are not a statutory consultee to comment on this application.
Landscape Officer	Objection	The submitted Biodiversity Net Gain (BNG) information is considered unreliable due to inconsistencies across the baseline habitat plan, metric, and drawings, including errors in habitat classification, tree losses, and red line boundary alignment, meaning the required 10% net gain cannot be verified. Concerns also arise from misclassification of habitats (notably H1), unaccounted tree impacts within the red line boundary and incorrect metric assumptions, alongside conflicts in the site layout affecting access arrangements.
Ecology Officer	No objection.	It is recommended that delegated authority be sought from the Committee to secure a countersigned Impact Assessment and Conservation Payment Certificate (IACPC) from Natural England, in respect of Great Crested Newts, prior to the determination of the application.
Natural England	Further information required.	The proposed amendments are unlikely to give rise to materially different impacts on the natural environment compared to the original scheme. Natural England previously advised that the site lies within a zone of potential recreational pressure affecting nearby Sites of Special Scientific Interest (SSSI). As such, a proportionate assessment of recreational impacts, together with appropriate mitigation measures (including alternative open space provision), would be required to

		address any potential effects on the SSSIs.
Internal Drainage Board	No comment at the time of DMC report publication.	

5 RESPONSE TO PUBLICITY

Below is a summary of the third party and neighbour responses received at the time of writing this report.

- 5.1 There have been six letters of objection raising the following comments:
- Overlooking, noise, loss of outlook and harm to neighbouring amenity.
 - Longlands Close is a small, substandard cul-de-sac unsuitable for 21 additional dwellings and associated traffic.
 - Increased traffic would worsen safety on Ramsey Road, which already suffers from congestion and poor visibility.
 - The road is unadopted, incomplete, and prone to flooding, with no clear proposals for adoption or maintenance.
 - The density, layout and suburban design conflict with Policy WB1 and fail to respect the village edge and conservation area.
 - The scale and massing would harm the semi-rural character and setting of nearby heritage assets.
 - Combined with nearby approved development, infrastructure (roads, drainage, services) would be significantly strained without mitigation.
 - The scheme results in a net loss of biodiversity, including hedgerow removal, relying on off-site credits and indicating overdevelopment.

6 APPRAISAL

Principle of Development

Housing Land Supply

- 6.1 This report should be read with the knowledge that the National Planning Policy Framework (NPPF) paragraph 78 requires the Council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against our housing requirement. A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).
- 6.2 As Huntingdonshire's Local Plan to 2036 is now over 5 years old it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. NPPF paragraph 78 also requires provision of a buffer to ensure choice and competition in the market for land. As Huntingdonshire has successfully exceeded the requirements of the Housing

Delivery Test a 5% buffer is required here. The 5-year housing land requirement including a 5% buffer is 5,907 homes. The current 5YHLS is 4,345 homes equivalent to 3.68 years' supply.

- 6.3 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'. While no 5YHLS can be demonstrated the Local Plan policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of Huntingdonshire's Local Plan to 2036 are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.

Location and suitability of the site

- 6.4 The presumption in favour of sustainable development is clearly outlined within the NPPF, with the goal of creating positive improvements in the quality of the built, natural and historic environment, which includes widening the choice of high-quality homes.
- 6.5 Policy LP1 sets out the amount of development the Local Plan seeks to address having regard to the objectively assessed need for development in Huntingdonshire. Paragraph 4.4 of the Local Plan confirms that allocated sites are included to promote the deliverability of the strategy.
- 6.6 Warboys is classified in policies LP2 and LP8 as a Key Service Centre and thus is one of the district's more sustainable centres which can accommodate growth. Policy LP2 explains that approximately one quarter of the objectively assessed need for housing and limited employment and retail growth will be focussed in Key Service Centres and Small Settlements.
- 6.7 Paragraph 4.98 in the supporting text to Policy LP8 notes that Key Service Centres have a role in meeting the development needs of the district and supporting the economic vitality of these settlements through a series of allocations for new development.
- 6.8 Policies LP2 and LP8 are within the Development Strategy chapter of Huntingdonshire's Local Plan to 2036, and are therefore considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications for residential development. Notwithstanding this, weight should still be given to Policies LP2 and LP8 given that they direct development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities which is consistent with the NPPF 2024.
- 6.9 The current application site forms part of a wider site allocation for residential development under site - specific allocation policy WB1 of the Local Plan which allocates:

“1.7ha of land West of Ramsey Road, Warboys is allocated for residential development of approximately 45 homes. Successful development of the site will require:

a. vehicular access being taken from Longlands Close and / or directly from Ramsey Road

b. provision of landscaping on the western and northern boundaries to provide a soft edge to the village including retention and appropriate replacement of the mature trees in the boundary hedging

c. provision of high quality development that is complementary to the adjacent conservation area

d. retention or appropriate replacement of mature trees on the frontage to 21 Ramsey Road

e. retention of trees and open space in the southern part of the site adjacent to The Paddock.

f. agreement with the Environment Agency and Anglian Water Services that waste water flows from the proposal can be accommodated.

g. agreement with the Environment Agency that meeting the requirements of the Water Framework Directive would not be compromised”

- 6.10 The criteria set out in Policy WB1 will be addressed elsewhere in this report: part a) under the section ‘Highway Safety, Access and Parking Provision’, parts b) and c) within this section and ‘Design, Visual Amenity and Landscaping’, part f) and g) under the section titled ‘Flood risk and Surface Water Drainage’.
- 6.11 Parts (d) and (e) of the policy are not applicable to this application site, as they relate to the wider allocated site to the south and the separate development of 24 dwellings approved under planning permission 20/00308/OUT.
- 6.12 This application proposes 21 dwellings which is consistent with the allocation and as stated above, with the remaining 24 units secured under application ref 20/00308/OUT. Site Allocation Policy WB1 is considered to carry significant weight in the assessment of this application.
- 6.13 The proposed development is considered to be in accordance with the WB1 allocation in terms of quantum, use, and location and therefore the principle of residential development in this location is established and acceptable under Allocation Policy WB1 of the Huntingdonshire Local Plan to 2036.

Impact on Character of Area

- 6.14 Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 states that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity. It is acknowledged that third-party concerns have been raised regarding the proposed density, the constrained layout, and the suburban design approach, with claims that the development conflicts with Policy WB1 by failing to provide a sensitive village edge or respect the adjacent Conservation Area.

- 6.15 However, the proposed density is consistent with Policy WB1, which identifies the wider allocated site as capable of accommodating approximately 45 dwellings. Of these, 24 dwellings have already been secured under permissions 20/00308/OUT and 23/02505/REM. The current application seeks to deliver the remaining 21 dwellings on the residual portion of the site and therefore accords with the overall anticipated capacity of the allocation.
- 6.16 In terms of heritage considerations, whilst the site access at the Longlands Close/Warboys Road junction lies adjacent to the Conservation Area, the majority of the application site is located outside the designated boundary, approximately 10 metres to the south/southwest. As such, there is potential for the development to affect views into and out of the Conservation Area.
- 6.17 Third parties have referred to a previous refusal for the erection of 17 dwellings on the site under application ref. 1102033OUT in 2011, which concluded that the site related more closely to the surrounding countryside than the built-up area of the village. The proposal was considered to be visually intrusive, eroding the open and spacious agricultural landscape setting, and harmful to the setting of the adjacent Conservation Area and the Grade II listed dwelling and outbuilding at No. 17 Ramsey Road.
- 6.18 However, significant weight must be given to the fact that the earlier application was determined under a previous Local Plan context. At that time, the site was not allocated for development. Since then, the site has been subject to a rigorous assessment process through the Local Plan, which has concluded the site is an acceptable amount and location for residential development. This represents a material change in circumstances and establishes the principle of residential development on the site.
- 6.19 Furthermore, the current policy context differs in that the Council is presently unable to demonstrate a five-year supply of deliverable housing land. This is an important material consideration which weighs in favour of the proposal. As such, the circumstances surrounding the current application are materially different from those in 2011, and the previous refusal does not carry significant weight in the determination of this application.
- 6.20 With regard to impacting views into the Conservation Area, the nearest Public Right of Way to the west (reference 245/5) lies approximately 1km from the site. Given this separation distance, together with the proposed retention and enhancement of boundary landscaping, the development would not result in harmful impacts on views into the Conservation Area.
- 6.21 With regard to views from within the Conservation Area, public vantage points would be limited. The development would be accessed via Longlands Close, with the internal layout arranged around this route. Consequently, any views into the site from within the Conservation Area would be limited and glimpsed through the access and would not materially harm its character or appearance.

- 6.22 Furthermore, the Conservation Officer has been consulted and has raised no objection, noting that the site forms part of a wider allocated area for housing and is located outside the Conservation Area boundary. The Officer did not raise any concerns about the impact of the proposed development on the setting of the Grade II listed dwelling and outbuilding at No. 17 Ramsey Road.
- 6.23 Having regard to Policy LP34 of the Huntingdonshire Local Plan to 2036, which requires great weight to be given to the conservation of heritage assets and their settings, and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, which places a duty to preserve or enhance the character or appearance of Conservation Areas, it is concluded that the proposal would have a neutral impact on the significance of the Conservation Area and the setting of the Grade II listed dwelling and outbuilding at No. 17 Ramsey Road and would not result in harm.
- 6.24 The proposal comprises of linear development whereby the access to the site would extend Longlands Close east–west and would form the centre of the development. Dwellings are arranged to front the access road, with rear gardens backing onto the northern and southern boundaries. At the western end, the layout includes green space, an attenuation basin, and a turning head.
- 6.25 Primary vehicular access is proposed from Longlands Close. Pedestrian connections connect into the established public footpath along Longlands Close as well as to the development to the south (the remaining portion of the allocation permitted under (20/00308/OUT) these connections support permeability and access.
- 6.26 The proposed units are two storeys in height, consistent with the surrounding built context. The scheme comprises a mix of 1-, 2-, 3-, and 4-bedroom dwellings, primarily semi-detached, with Plots 15–17 forming a terrace of three 2-bed units.
- 6.27 Policy WB1 sets out that development on the site should include a provision of landscaping on the western and northern boundaries to provide a soft edge to the village including retention and appropriate replacement of the mature trees in the boundary hedging.
- 6.28 The application is supported by a detailed soft landscaping scheme and boundary treatment plan. The submitted details confirm that the existing northern hedgerow, interspersed with established trees, will be retained, and the western boundary hedge will be enhanced through mixed scrub planting comprising seven native species.
- 6.29 In addition to the site-wide structural landscaping, the Urban Design Officer has recommended that details of on-plot threshold planting be secured by condition should planning permission be granted. It is also recommended that conditions be imposed requiring the submission and approval of hard landscaping details.

- 6.30 Furthermore, it is recommended that conditions be attached to secure details of materials and architectural design, cycle and refuse storage, attenuation pond design, adoptable street lighting, and the location of chimneys.
- 6.31 Taking all of the above into consideration, and subject to the above recommended conditions, it is considered that the proposal would not have an adverse impact on the area's character, or views into and out from the Warboys Conservation Area and would successfully integrate with adjoining buildings, the topography and surrounding landscape. The proposed development would accord with Policies WB1 part b and c), LP11, LP12 and LP34 of Huntingdonshire's Local Plan to 2036 and the Huntingdonshire Design Guide SPD.

Housing mix including Affordable Housing

- 6.32 The Cambridge sub-region Strategic Housing Market Assessment (SHMA) 2013 provides guidance on the mix of housing required for Huntingdonshire up to 2031. This gives broad ranges reflecting the variety of properties within each bedroom category. This indicates a requirement for the following mix: up to 4% 1-bedroom homes, 16-42% 2-bedroom homes, 26- 60% 3-bedroom homes and up to 30% 4 or more-bedroom homes. The Cambridgeshire and West Suffolk Housing Needs of Specific Groups report was released in October 2021. This indicates a requirement for the following mix: up to 10% 1- bedroom homes, 20-30% 2-bedroom homes, 40-50% 3-bedroom homes and 20- 30% 4 or more-bedroom homes.
- 6.33 The proposed development includes a mix of 1, 2, 3 and 4 bed homes which broadly aligns with the requirements above and will contribute to the creation a sustainable, inclusive and mixed community in the locality.
- 6.34 With regard to the development meeting the requirements of Policy LP25 criteria f to h, the majority of the proposed dwellings are capable of meeting the requirements of M4(2) and there are two M4(3) wheelchair adaptable dwellings (Plots 9 and 10) proposed. It is recommended that conditions be imposed to secure these requirements. The proposal is therefore considered to comply with Policy LP25 part f to h in this regard.
- 6.35 The requirements within policy LP12 of Huntingdonshire's Local Plan to 2036 relating to sustainable design and construction methods are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement Approved Document G for water efficiency. It is recommended a condition be attached to any permission granted by Members to ensure that the dwellings are built in compliance with this standard.
- 6.36 Policy LP24 of the Local Plan states a proposal will be supported where:
a. it delivers a target of 40% affordable housing on a site where 11 homes or 1,001m² residential floorspace(gross internal area) or more are proposed;

- b. it provides approximately 70% of the new affordable housing units as social or affordable rented properties with the balance made up of other affordable tenures;*
- c. affordable housing is dispersed across the development in small clusters of dwellings; and*
- d. it ensures that the appearance of affordable housing units is externally indistinguishable from that of open market housing.*

- 6.37 The application proposes the provision of 9 affordable dwellings, which exceeds the policy-compliant requirement of 8 units. The affordable housing would comprise a mix of 1-, 2- and 3-bedroom dwellings and would be distributed across the northern and southern parts of the site.
- 6.38 The submitted house types for the affordable units are of a similar design and appearance to the market housing, ensuring that they would be tenure-blind and not readily distinguishable externally.
- 6.39 The Affordable Housing Officer has worked closely with the applicant and the case officer to secure the proposed affordable housing provision and mix. The level and distribution of affordable housing are considered to accord with the objectives of Policy LP24, subject to the provision being secured through a Section 106 Agreement.

Residential amenity

- 6.40 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 6.41 A number of representations have been received from neighbouring residents raising concerns regarding overlooking, loss of privacy, and noise impacts.
- 6.42 These above issues are ones that can be taken into consideration in the determination of planning applications. However, it is also noted that concerns have been raised in respect of loss of outlook from private dwellings and potential impacts on property values. These matters are not material planning considerations that can be taken into consideration in the determination of planning applications.
- 6.43 Notwithstanding this, the relationship between the proposed development and neighbouring properties has been carefully considered in respect of material planning matters, including separation distance, overbearing and loss of privacy impacts and found to be acceptable in planning terms.

Neighbouring properties

- 6.44 The closest existing residential properties are to the east Nos 6,7 and 9 Longlands Close. To the north and northeast is the residential properties No. 1

and 2 Haycroft Close and their associated residential curtilages which extend westward.

- 6.45 The proposed dwellings on the eastern part of the site would be separated from the existing dwellings to the east (Longlands Close) by retained landscaping and existing 1.8m boundary brick walls. The closest relationship is between the proposed blank side elevation of Plot 1 and the rear elevation of the existing house No.9 Longlands Close, with an approximate separation distance of 15 metres. All other existing and proposed dwellings have a greater separation distance, the proposed Plot 21 has approximately 16m to the adjacent property (Longlands Close.).
- 6.46 Plots 1 and 21 (both S324 house types) would not include any windows on their side (east) elevations preventing any directly overlooking from side windows into the private rear amenity spaces of Nos. 6 and 9 Longlands Close. Whilst it is acknowledged that rear bedroom windows would provide some oblique views into these rear gardens, their predominately views are down their own rear gardens and in the context of a built-up residential area, such oblique overlooking is considered normal and acceptable.
- 6.47 The above design and proposed separation distances and intervening hard and soft landscaping, would not result in detrimental overlooking or an overbearing impact on existing properties at Longlands Close.
- 6.48 With regard to Nos. 1 and 2 Haycroft Close, it is acknowledged that their residential curtilages extend westwards along the northern boundary of the site. Plots 14–21 would be positioned perpendicular to the long, narrow rear gardens serving these properties. The closest relationship would occur between Plots 15–17 and No. 1 Haycroft Close, with an approximate separation distance of 12 metres from the common boundary.
- 6.49 Whilst it is recognised that these plots would result in some direct overlooking of No. 1's rear garden, existing vegetation along the northern boundary, which lies outside of private residential curtilages and will be retained, would provide a degree of screening. This would be supplemented by the provision of 1.8m close-boarded fencing between existing and proposed properties.
- 6.50 Furthermore, given the extensive length and depth of the rear gardens at Nos. 1 and 2 Haycroft Close, a significant proportion of these amenity spaces would remain free from direct overlooking, and the immediate private amenity space at the rear elevation would not be directly overlooked. As such, it is considered that the proposal would not result in unacceptable residential amenity impacts in terms of overlooking or loss of privacy for the occupants of Nos. 1 and 2 Haycroft Close.
- 6.51 Whilst development of the application site would change the nature of outlook of some existing properties to the east of the site, it is noted from Case Law that the right to a view from a private dwelling house across third party land is not something which can be protected within the remit of the planning system.

- 6.52 Consideration should also be given to the residential amenity of the dwellings permitted on the adjoining site to the south, for which the layout and appearance were approved under application reference 23/02505/REM. Plots 1-9 of that consent back onto this application site. The back-to-back distances between plots 1–8 of the proposed development and the permitted scheme to the south would measure a minimum of approximately 21.5 metres to ensure an acceptable degree of privacy and separation between first floor bedrooms. This is considered sufficient to secure residential privacy, in addition existing boundary vegetation to the south of the site to be retained will also supplement this retention of privacy.

Amenity for future occupiers

- 6.53 The proposed development has been designed to provide a high standard of residential amenity for future occupiers. Each dwelling benefits from an appropriate level of private external amenity space, relative to its size and type.
- 6.54 The layout has been carefully arranged to ensure adequate separation distances between dwellings, preventing undue overlooking and safeguarding privacy. Furthermore, the positioning of buildings, together with proposed boundary treatments and landscaping, ensures that the development avoids unacceptable levels of dominance and maintains a satisfactory living environment for residents.
- 6.55 The proposed house types are considered to deliver a good standard of residential amenity for future occupants. The dwellings have been designed in accordance with the Nationally Described Space Standards, and all habitable rooms would benefit from appropriately sized windows, ensuring adequate levels of natural daylight and sunlight.

Contamination

- 6.56 Policy LP37 of the Huntingdonshire Local Plan to 2036 sets out that where ground contamination of a site and/ or adjacent land is possible, due to factors including but not limited to existing or previous uses, the risks of ground contamination, including ground water and ground gases, will need to be investigated.

In this case the Environmental Health Officer consulted on the application noted that records show that this site previously had builder's rubble, stock piles and/or waste storage which could be associated with land contamination.

- 6.57 Therefore, if Members are minded to approve the application, then a land contamination risk assessment (and if necessary a remediation strategy) would be recommended to be imposed upon any consent and conducted prior to the commencement of development. Where it has been necessary to carry out land

contamination remediation work, a remediation and verification report should be submitted to and agreed by the LPA prior to occupation of the site.

- 6.58 In light of the above assessment, subject to appropriate conditions the proposed development is considered capable of safeguarding the residential amenities of existing neighbouring occupiers and providing acceptable living conditions for future occupiers of the application site in compliance with Policies LP14 and LP37 of the Huntingdonshire Local Plan to 2036 and paragraph 124 of the NPPF (2024).

Flood Risk and Drainage

- 6.59 Policy LP5 of the Local Plan sets out that a proposal will only be supported where all forms of flood risk have been addressed.
- 6.60 The application is supported by a Flood Risk Assessment (FRA) dated June 2025 and Drainage Statement V3 dated September 2025.
- 6.61 The application site is entirely located within Flood Zone 1, as defined by the Environment Agency's Flood Map for Planning and the Strategic Flood Risk Assessment (SFRA 2024), and is therefore at low risk of fluvial flooding. Environment Agency surface water mapping identifies isolated areas of the site as having a low to medium risk of surface water flooding, with an annual probability of between 1% and 3.3%, and other areas with a low probability of flooding of between 0.1% and 1% per annum. The site is not identified as being at risk from groundwater flooding.
- 6.62 The submitted Flood Risk Assessment (FRA) recommends that, due to the relatively low to moderate risk of surface water flooding, finished floor levels should incorporate a 0.3m allowance of flood resilient (recovery) construction. Should Members be minded to approve the application, it is recommended that a condition be imposed requiring the details of the proposed finished floor levels to ensure compliance with the recommendations set out within the FRA.
- 6.63 The Parish have raised concerns about unresolved drainage issues and it is noted that, in the LLFA's consultation response dated 30/03/2026, the Flood Risk Officer raised an objection due to insufficient information regarding the connection to a private sewer, including its location, condition, and confirmation of a suitable connection, which was requested to be evidenced by CCTV survey and existing network drawings.
- 6.64 Subsequently, the applicant has submitted a Surface and Foul Sewer Plan, Existing Sewer Layout, and drainage photographs. Whilst a CCTV survey has not been provided, correspondence from the LLFA Flood Risk Officer dated 10/04/2026 confirms that this requirement can be secured by condition.
- 6.65 The submitted Drainage Statement indicates that, due to level constraints, a small section of the proposed adoptable highway at the site entrance cannot be connected to the wider on-site surface water drainage network. Instead, it is

proposed that surface water from this limited area would discharge to the existing Anglian Water surface water sewer within Longlands Close.

- 6.66 Surface water from the remainder of the development would be managed via discharge to an existing riparian watercourse along the northern boundary, as well as an existing box culvert within the site which forms part of the drainage infrastructure serving Longlands Close.
- 6.67 Both the Lead Local Flood Authority (LLFA) and Anglian Water have raised concerns regarding the proposed connection to the surface water sewer in Longlands Close, noting that this sewer is not adopted by Anglian Water. As such, confirmation is required that the applicant has obtained, or will obtain, the necessary consent from the relevant landowner to connect to this infrastructure.
- 6.68 In response, the agent has clarified (email dated 11 May 2026) that the submitted Drainage Statement (Rev. P3, Section 5.9) confirms the developer has taken ownership of the existing box culvert and intends to seek its adoption by Anglian Water, alongside the existing foul sewer within Longlands Close. Should Anglian Water agree to adopt the culvert, future ownership and maintenance would transfer accordingly. In the event adoption is not agreed, the developer would retain responsibility for its ongoing maintenance via a private management company.
- 6.69 The agent has further advised that, once surface water leaves the site and discharges to the adjacent watercourse to the north-west, flows ultimately connect to an Internal Drainage Board (IDB) watercourse further downstream. The developer has acknowledged the requirement to notify the relevant IDB and adjoining landowners in respect of these flows prior to the commencement of works. These matters relate to land ownership and riparian responsibilities and are not directly material to the determination of the application. Should planning permission be granted, these matters could be addressed through the inclusion of an informative.
- 6.70 The Internal Drainage Board (IDB) have been consulted as part of the application but at the time of the DMC report publication no comments have been received.
- 6.71 Given the above, and subject to Members being minded to approve the application, it is recommended that conditions are imposed requiring the submission of a detailed surface water drainage strategy. This should include confirmation of any necessary discharge consents (including IDB approval) and CCTV survey details of the existing box culvert.
- 6.72 Policy WB1 (parts f and g) of the Local Plan requires that development proposals demonstrate that wastewater flows can be accommodated and that the requirements of the Water Framework Directive would not be compromised, with agreement from the Environment Agency (EA) and Anglian Water.

- 6.73 In respect of foul water drainage, the submitted Drainage Statement (Rev. P3) confirms that flows would connect to the existing manhole within Longlands Close. Anglian Water has been consulted and has confirmed that Oldhurst Wastewater Recycling Centre has capacity to accommodate the proposed development, and that the existing sewer network has sufficient capacity. Subject to this, a condition is recommended to secure compliance with the proposed foul water drainage strategy.
- 6.74 In respect of criteria f) and g), no response was received from the Environment Agency, as the proposal falls outside its statutory consultation remit. This is consistent with the position taken on the adjacent site (planning application ref. 20/00308/OUT). In the absence of any objection, and noting that both the LLFA and Anglian Water raise no concerns, officers are satisfied that the development would not adversely affect wastewater capacity or the objectives of the Water Framework Directive, and therefore complies with Policy WB1.
- 6.75 Subject to the imposition of the above conditions, it is considered the development would accord with Policies LP5, LP6, LP15 and WB1 parts f and g of the Huntingdonshire Local Plan to 2036.

Highway Safety, access and parking provision

- 6.76 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.
- 6.77 It is acknowledged the main concern raised by the Parish and third parties related to highways safety. Concerns that Longlands Close is a small, unadopted cul de sac with an unfinished and substandard access, not designed to accommodate the additional traffic from 21 dwellings, including construction vehicles were raised. In addition, the parties set out that resulting increase in movements onto Ramsey Road, which already experiences poor visibility and an accident history, is likely to exacerbate congestion and create heightened safety risks for pedestrians, residents and road users.
- 6.78 The proposed access would extend Longlands Close westward off Ramsey Road. The proposed access would have a width of 5m with 2m footways on both sides and a turning head. The proposed estate road would have speed tables in acceptable locations and pram ramps to enable non-motorised users (NMUs) to access the footway in Warboys Road in a northerly direction. Appropriate visibility splays for the appropriate speed of the Longlands Close and Ramsey Road can be achieved in this location.
- 6.79 Whilst third party concerns in respect of highways safety are acknowledged, the Local Highway Authority (LHA) have reviewed the submitted proposal and consider the proposed intensification of Longlands Close to be acceptable for the provision of an additional 21 units.

- 6.80 It is also noted that third parties have raised concerns regarding the incomplete and currently unadopted status of Longlands Close. The submitted plans indicate that both the existing section of Longlands Close and the proposed estate road would be constructed to an adoptable standard. During the course of the application, discussions have taken place between the applicant and the LHA regarding the required standards for adoption. The LHA has reviewed the submitted details and confirms that the road layout is suitable for adoption.
- 6.81 However, the formal process for adoption is undertaken separately under highways legislation and does not form part of the determination of this application. The key consideration in this case relates to highway safety and whether the proposed intensification of use is acceptable. This has been reviewed and is supported by the Highway Authority.
- 6.82 Concerns have also been raised by third parties regarding the impact of construction traffic. However, it is noted that the Local Highway Authority has recommended the imposition of a Construction Traffic Management Plan (CTMP) condition, which is considered sufficient to manage and mitigate the effects of construction traffic on Longlands Close.
- 6.83 The proposed car and cycle parking provision is considered compliant with Policy LP17 with regards to the quantum, type and distribution of car and cycle parking, including visitor provision.
- 6.84 In light of the above and subject to appropriate conditions, the proposed development is considered capable of accords with Policies LP16, LP17 and WB1 part a) of the Local Plan and section 9 of the NPPF (2024) in terms of highway safety, access and parking provision.

Trees

- 6.85 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.
- 6.86 As there are trees within and adjacent to the application site, the proposal is supported by an Arboricultural Impact Assessment (AIA) and accompanying Tree Constraints Plan. The AIA identifies that the Goat Willow trees along the northern boundary (Group A) are to be retained. However, to facilitate the provision of the attenuation basin, it is proposed to remove trees located within the south western corner of the site (identified as Group C).
- 6.87 The AIA also considers the impact of retained boundary vegetation, noting that properties 5–8 and 10 may experience some degree of shading to their rear gardens. Nevertheless, this impact is not considered to be significant.

- 6.88 The submitted arboricultural details have been reviewed by the Council's Arboricultural Officer, who raises no objection to the proposed development. The Officer does, however, recommend the imposition of a condition requiring a Tree Protection Plan and Tree Protection Method Statement to ensure the safeguarding of retained trees during construction. Subject to this, the proposal is considered to comply with Policy LP31 of the Local Plan.

Biodiversity

- 6.89 Paragraph 187 of the NPPF (2024) states planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan dovetails this and requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible.
- 6.90 The application is supported by an updated Preliminary Ecological Appraisal (PEA) dated April 2026 and a Biodiversity Net Gain Assessment dated January 2026.
- 6.91 The updated PEA indicates that the development is unlikely to result in significant adverse effects on protected species, with no loss of roosting habitat for bats and no identified impacts on water vole or otter. Impacts on badger and other mammals are considered negligible, subject to precautionary working methods.
- 6.92 Some habitat loss is anticipated, including areas of grassland and scrub, which may affect species such as hedgehogs, breeding birds and invertebrates; however, these impacts can be appropriately mitigated and enhanced through recommended measures, including habitat enhancements and sensitive lighting design. Further surveys and mitigation are required in respect of reptiles, although amphibians, are not considered to be present.
- 6.93 The submitted PEA indicates that ponds P1 and P2, located to the south of the site and within the wider Local Plan allocation, were found to have negligible presence of Great Crested Newts based on eDNA survey results from 2017. The report also concludes that the proposed development, including the construction phase and completed layout, would act as a dispersal barrier between ponds P2 and P3 and the application site. However, while site clearance has taken place, development on the land to the south has not yet commenced.
- 6.94 In light of the above, the Ecology Officer has reviewed the information and recommends that delegated authority be sought from the Committee to secure a countersigned Impact Assessment and Conservation Payment Certificate (IACPC) from Natural England, in respect of Great Crested Newts, prior to determination of the application, to ensure all ecological considerations are appropriately addressed.

- 6.95 Overall, subject to mitigation and enhancement measures, the ecological impacts are considered to be acceptable.
- 6.96 The application is also supported by a Reptile Survey Report dated October 2025. The onsite survey detailed in the report confirmed no presents of reptiles were recorded under the mats. Any suitable refugia and areas within the red line apart from the mat locations was also checked for reptiles during the surveys. Due to the absence of any reptile populations on the site during the surveys, the report recommended a precautionary approach to site clearance to safeguard any transient reptiles, amphibians and small mammals.
- 6.97 It is also recommended that a condition seeking the details of a Biodiversity Method Statement, securing how the recommendations in the PEA and Reptile Survey would be implemented, is also imposed if consent is granted by Members.
- 6.98 The PEA recommends that light pollution from any lighting should not illuminate trees or boundary features. Should the development be permitted, it is recommended that a bat sensitive external lighting scheme condition is imposed on the development should permission be granted by Members.
- 6.99 In accordance with Schedule 7A of the Town and Country Planning Act 1990, as inserted by the Environment Act 2021 and amended by the Levelling Up and Regeneration Act 2023, this development is subject to the mandatory requirement to deliver at least a 10% Biodiversity Net Gain (BNG).
- 6.100 Whilst it is acknowledged that the development will result in a loss of on-site habitat units, as highlighted in third-party representations, the Biodiversity Net Gain (BNG) framework allows for such losses to be addressed through the application of the mitigation hierarchy and the provision of measurable net gains.
- 6.101 In this instance, the site is spatially constrained and cannot accommodate all required habitat enhancements within the red line boundary. However, any shortfall would be secured through appropriate off-site compensation, to ensure the mandatory 10% net gain is achieved, which can be secured by condition. This approach is in line with the BNG guidance and legislation.
- 6.102 The Landscape Officer has been consulted and has raised an objection in relation to Biodiversity Net Gain (BNG). The submitted BNG information is considered unreliable due to inconsistencies between the baseline habitat plan, metric calculations and supporting drawings. Identified issues include errors in habitat classification, inaccuracies relating to tree losses, and misalignment with the red line boundary. As a result, the required 10% biodiversity net gain cannot currently be verified. Further concerns relate to the misclassification of habitats (particularly H1), unassessed impacts on trees within the red line boundary, incorrect metric assumptions, and discrepancies in the site layout affecting access arrangements.

- 6.103 In response, the applicant is currently working to revise the BNG baseline, with updated information expected to be submitted between publication of this report and the update report to Members.
- 6.104 In light of the above, it is recommended that Planning Committee delegates authority to the Head of Planning, Infrastructure and Public Protection to resolve the outstanding BNG baseline. Subject to agreement of the baseline, the required 10% net gain shall be secured by condition.
- 6.105 It should also be noted that BNG is not intended to prevent development or determine whether a proposal constitutes overdevelopment. Rather, it is a mechanism to ensure that development delivers measurable biodiversity improvements over and above the existing baseline.
- 6.106 Natural England was consulted on the application and requested further information in relation to an assessment of recreational pressure, given the site's proximity to Sites of Special Scientific Interest (SSSIs). However, it is considered proportionate in this instance that such additional assessment is not required.
- 6.107 The proposal falls significantly below the Natural England consultation threshold, and therefore does not ordinarily trigger the need for detailed recreational pressure assessment. Furthermore, the submitted Preliminary Ecological Appraisal (PEA) has considered the potential impacts of the development on nearby designated sites, including Woodwalton and Warboys Claypit SSSI and the County Wildlife Site, concluding that no mitigation is required as the development would not give rise to significant effects on these sites.
- 6.108 In addition, the likely population yield of approximately 46 residents is modest. Accessibility to the relevant SSSIs is also limited: Warboys Clay Pit SSSI and Warboys Wood are not publicly accessible, while only part of Wistow Wood is accessible. This restricted access further reduces the likelihood of increased recreational pressure arising from the development.
- 6.109 Taking into account the scale, location and characteristics of the proposal, alongside the findings of the submitted ecological information, it is considered that the development is unlikely to result in significant environmental effects on designated sites. As such, it is not considered necessary or reasonable to require the submission of further information in response to Natural England's request in this case.
- 6.110 On this basis, and subject to securing the necessary mitigation and enhancement measures, the proposal is considered to accord with the objectives of Policy LP30 of Huntingdonshire's Local Plan and Section 15 of the National Planning Policy Framework in this regard.

Additional Duties

Public Sector Equalities Duties

- 6.111 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers.
- 6.112 The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to:
- (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act;
 - (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and
 - (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.
- 6.113 Due consideration has been made to The Equality Act 2010 during the assessment of the planning application, no conflicts are raised.

Human Rights

- 6.114 Due consideration has been made to The Equality Act 2010 during the assessment of the planning application, no conflicts are raised. There may be implications under Article 1 (protection of property) and Article 8 (right to respect for private and family life) of the First Protocol regarding the right of respect for a person's private and family life and home, and to the peaceful enjoyment of possessions; however, these issues have been taken into account in the determination of this application.

7 FINANCIAL CONSIDERATIONS

- 7.1 Planning obligations secured through a Section 106 Agreement must meet the statutory tests set out in Regulation 122 of the Community Infrastructure Levy Regulations 2010. These require that obligations are necessary to make the development acceptable in planning terms, directly related to the development, and fairly and reasonably related in scale and kind. Contributions can only be sought where there is clear evidence that the proposed development would give rise to a specific impact that requires mitigation, and where the obligation meets these tests. Section 106 obligations are therefore intended to address impacts that would otherwise render a development unacceptable, rather than to respond to generalised or cumulative concerns in the absence of evidence of direct impact.
- 7.2 It is acknowledged that third parties have raised concerns regarding the cumulative impact of residential development within Warboys, particularly in relation to pressures on GP services, education provision and local amenities, and the perceived lack of mitigation. However, it should be noted that if the

development is permitted by Members it would be CIL liable in accordance with the Council's adopted charging schedule; CIL payments can be used to cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

- 7.3 Without prejudice to the eventual determination of the planning application, negotiations have been held with the Applicant in order to determine the extent of the obligations required to make the development acceptable. These negotiations have been held in line with the advice within the Regulations and the outcome is summarised below.

Open Space

- 7.4 Policies LP3 and LP4 of Huntingdonshire's Local Plan to 2036 and Part B of the Developer Contributions SPD requires proposals to provide land for informal green space. In accordance with the Developer Contributions SPD, 21 dwellings generates a requirement for 975sqm of informal green space including 501sqm of amenity green space. The informal green space proposed exceeds the SPD requirements comprising approximately 1,228sqm of amenity grassland.

The Developer Contributions SPD sets out a cascade mechanism for the future management and maintenance of informal green space, whereby the land is first offered to the Town or Parish Council, followed by the District Council, and ultimately a Management Company if neither authority takes responsibility.

In accordance with the SPD, this cascade mechanism will be secured through the Section 106 Agreement to ensure the long-term management and maintenance of shared open space. Additionally, a Landscape Maintenance contribution, based on the updated 2024/2025 costings, will be secured through the Section 106 Agreement in the event that the open space is transferred to either the District or Parish Council.

Wheeled Bins

- 7.5 In accordance with Policy LP4 of Huntingdonshire's Local Plan to 2036 and Part H of the Developer Contributions SPD, each dwelling is required to be provided with one black and one blue wheeled bin. Green bins are not included as standard and are instead available to occupiers upon request, subject to an annual charge. The current cost of such provision is £131 per dwelling. A total of £2,751 is to be secured through a section 106 agreement and is considered necessary to ensure the development has adequate waste infrastructure, in accordance with policy LP4 and section H of the Developer Contributions SPD.

Affordable Housing

- 7.6 The proposal includes a policy-compliant provision of affordable housing, equating to 40% of the total number of dwellings (9 units). This comprises a mix of one-, two- and three-bedroom properties, with two of the units designed to be capable of adaptation to meet M4(3) wheelchair accessible standards. Subject

to the final wording of the Section 106 Agreement, the provision of on-site affordable housing is supported and is considered to accord with Policy LP24 of the Local Plan and Section A of the Developer Contributions SPD.

Outdoor sports provision

- 7.7 As no on-site formal outdoor sport facilities are proposed within this development, an off-site financial contribution is required towards formal outdoor sports provision in Warboys, in accordance with the Playing Pitch & Outdoor Sports Strategy (PPOSS). The development of 21 dwellings, based on an average household size of 2.19, is expected to generate approximately 46 residents. Applying the Council's standard cost rate for formal outdoor sport, this equates to a total contribution of £12,670.25.

The Playing Pitch and Outdoor Sports Strategy (PPOSS) identifies that facilities within Warboys require targeted investment to enhance capacity and improve quality, particularly for football and cricket. The planning permission for the adjacent part of the wider allocation for 24 dwellings secured a financial contribution towards improvements at the football and cricket pitches, so seeking a contribution under this application is consistent and seeks to help meet the needs of this housing allocation. At Warboys Sports Field, there is a specific need for improved ancillary provision, including upgraded changing facilities, toilets and storage, to better support these activities.

The Council's Active Lifestyles Officer has also advised that contributions could assist in improving ancillary facilities at White Hart Bowls Club within Warboys.

Accordingly, the proposed financial contribution of £12,670.25 towards formal outdoor sports provision within the parish is considered to meet the statutory tests set out in the Regulations and is compliant with both local policy and the Developer Contributions SPD.

- 7.8 Community Infrastructure Levy (CIL): The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

8 PLANNING BALANCE AND CONCLUSION

- 8.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 8.2 A revised NPPF was published in December 2024, introducing a substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements. This has resulted in the Council being unable to demonstrate a 5 Year Housing Land Supply (5YHLS). While no 5YHLS can be demonstrated Local Plan policies concerned with the supply and location of housing, as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of

Huntingdonshire's Local Plan to 2036, are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.

- 8.3 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'.
- 8.4 NPPF para 11 states:
*'Plans and decisions should apply a presumption in favour of sustainable development.
For decision-taking this means:
d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
i. the application of policies in this Framework that protect areas or assets of particular importance (7*) provides a strong reason for refusing the development proposed; or
ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.*
- 7* Foot note 7 states: The policies referred to are those in this Framework (rather than those in development plans) relating to: habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest; land designated as Green Belt, Local Green Space, a National Landscape, a National Park (or within the Broads Authority) or defined as Heritage Coast; irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75); and areas at risk of flooding or coastal change.*
- 8.5 As outlined in the report, there are no strong reasons for refusal in relation to any habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest, Local Green Space, irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75) and areas at risk of flooding. Therefore, there is no reason to not move forward to test d (ii) as per above and thus the 'tilted balance' is engaged.
- 8.6 Housing Allocation WB1 stands as adopted in the Local Plan and is not considered to be out of date. Policy Allocation WB1 is therefore afforded significant weight in the determination of this planning application.
- 8.7 In terms of the benefits of the scheme, the proposed development would deliver 21 new homes, including 40% affordable housing, contributing meaningfully to the district's housing supply at a time when the Council cannot demonstrate a

five-year housing land supply. This is given substantial weight in the planning balance.

- 8.8 The site is allocated for residential development under Policy WB1 and lies within a sustainable location in a Key Service Centre. This is afforded significant weight.
- 8.9 The proposed development would deliver 9 affordable homes towards a significant district affordable need. Significant weight is afforded to this.
- 8.10 In terms of the economic dimension of sustainable development, the proposed development would contribute towards economic growth, including job creation – during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services/facilities. Moderate weight is afforded to this.
- 8.11 In terms of the environmental and social dimensions of sustainable development, the proposal would deliver areas of informal open space, achieve biodiversity net gain (subject to agreement of the baseline), enhance pedestrian connectivity, and provide financial contributions towards outdoor sports provision and associated infrastructure.
- 8.12 As set out within this report, the proposal does not give rise to any conflict with the provisions of the Local Plan, and no adverse impacts have been identified that cannot be appropriately mitigated through the use of planning conditions or planning obligations (including Biodiversity Net Gain, CIL and Section 106 contributions).
- 8.13 On balance, when assessed against the policies in the NPPF taken as a whole, the identified harms are not considered to significantly and demonstrably outweigh the benefits of the proposal. Therefore, in accordance with paragraph 11(d) of the NPPF, the presumption in favour of sustainable development applies, and the application is recommended for approval subject to conditions and completion of a Section 106 agreement.

9 RECOMMENDATION/CONDITIONS AND REASONS

- 9.1 That the Head of Planning, Infrastructure & Public Protection be given delegated powers to grant permission for the development subject to:
1. The Committee delegates authority to finalise the technical resolution of the BNG baseline and the receipt of a countersigned Impact Assessment and Conservation Payment Certificate (IACPC) to the Planning Service Manager;
- and;

2. The Committee delegates authority to finalise the terms and completion of the S.106 agreement to the Planning Service Manager;
- and,
3. Following the completion of the S.106, the application be approved subject to conditions (and any amendments as deemed necessary) below:

Conditions (full wording)

Time Limit

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Approved Plans

2. The development hereby permitted shall be carried out in accordance with the approved plans listed in the table above.

Reason: For the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

External Material Details

3. Notwithstanding the details shown on the plans hereby approved, no development above slab level (except for site clearance where necessary) shall take place until details of all the materials for the external surfaces of buildings to be used in the construction of the development have been submitted to and approved in writing by the Local Planning Authority. The details shall include:
 - (a) A plan(s) identifying the location of where the different materials are to be used within the development;
 - (b) Brick panels of 1m² erected on site illustrating the choice of bricks, bonding, patterns and mortar colour;
 - (c) The type, colour and texture of all materials to be used for the roof of the building(s);
 - (d) The profile, colour, material and method of attachment of rainwater goods including downpipes, gutters and hoppers;
 - (e) Materials (including colour) for the construction of dormer windows;
 - (f) Non-masonry walling systems, cladding panels or other external screens; including colours, surface finishes/textures and relationships to glazing and roofing (this detail may consist of large-scale drawings and/or

samples);

- (g) Materials (including colour) for the construction of doors, windows (including method of opening), soffits and fascias;
- (h) The appearance and materials for balcony screens (this detail may consist of large-scale drawings and/or samples);
- (i) Materials for the construction of porch and any other canopies;
- (j) The product name and manufacturer where appropriate.

The development shall be carried out in accordance with the approved details.

Reason: To ensure the external appearance of the development does not detract from the character and appearance of the area in accordance with Policies LP11 and LP12 of the Huntingdonshire Local Plan to 2036.

Architectural Details

4. Notwithstanding the details shown on the plans hereby approved, no development above slab level (except for site clearance where necessary) shall take place until architectural details for the external surfaces of buildings have been submitted to and approved in writing by the Local Planning Authority. The details shall include:
 - (a) Window and door reveals, cills and headers, including tax windows / doors;
 - (b) A plan(s) showing the location, design and colour of external flues, chimney, vents and meter boxes;
 - (c) Eaves and verge details;
 - (d) Size and design of gable / chimney motifs
 - (e) The product name and manufacturer where appropriate.

The development shall be carried out in accordance with the approved details.

Reason: To ensure the external appearance of the development does not detract from the character and appearance of the area in accordance with Policies LP11 and LP12 of the Huntingdonshire Local Plan to 2036.

External Lighting Scheme

5. No external lighting shall be provided or installed until details of a lighting scheme have been submitted to and approved in writing by the Local Planning Authority. The scheme shall include the following:
 - (a) Luminaire product name, manufacturer and colour;
 - (b) Tilt angle;
 - (c) Light source type within the luminaire;
 - (d) Mounting height and column height;
 - (e) Design lighting levels (Eav, Emin and Uo);
 - (f) Isolux contours to 0.4 lux and colour temperature;
 - (g) Lightguard/shield;
 - (h) Timetable of implementation

The proposed lighting scheme shall be designed in sympathy with any approved landscaping scheme to avoid impacts to roots of proposed and existing trees and landscaping and avoid conflict with tree canopies.

The development shall be carried out in accordance with the approved scheme before the development to which it relates is occupied or the use commenced and retained as such.

Reason: To minimise the effects of light pollution on the surrounding area and to protect biodiversity interests in accordance with Policies LP14 and LP30 of the Huntingdonshire Local Plan to 2036.

Tree Protection Plan

6. No development, demolition, clearance or preparatory operations (including excavations and archaeology), hereafter referred to as “the works”, shall commence on site in connection with the development hereby approved, until a Tree Protection Plan has been submitted to, and approved in writing by the Local Planning Authority. The approved Tree Protection Plan shall be implemented before any equipment, machinery, or materials are brought on to the site in connection with the works, be retained intact for the duration of the construction works and only be removed or altered with the prior written approval of the Local Planning Authority.

Any trees, shrubs or hedges covered by the agreed protection measures, which die or become severely damaged either from natural causes or as a result of the construction works; during the construction works or within five years from the completion of the construction works, shall be replaced with trees, shrubs or hedge plants of similar size and species, unless otherwise agreed in writing with the Local Planning Authority. Replacement planting to be undertaken by the end of the next available planting season.

Reason: This is a pre-commencement condition to ensure that initial site operations do not harm any trees, shrubs and hedges to be retained on and adjacent to the site (and if necessary their replacement) in the interests of visual amenity, and to enhance the character and appearance of the site in accordance with Policy LP12 of the Huntingdonshire Local Plan to 2036.

Arboricultural Method Statement

7. No development, demolition, clearance or preparatory operations (including excavations and archaeology) shall commence on site in connection with the development hereby approved until an Arboricultural Method Statement has been submitted to, and approved in writing by the Local Planning Authority. The development shall thereafter be undertaken in accordance with the approved Statement.

Reason: This is a pre-commencement condition to ensure suitable protection of the trees on and adjacent to the site for the whole duration of the construction works pursuant to this permission and in the interests of visual amenity, and to enhance the character and appearance of the site. This condition is pre-commencement to ensure that site operations do not harm any trees, shrubs and hedges to be retained.

Contamination

8. A. Site Investigation Information

No development (except demolition of above ground structures) shall take place until an assessment of the nature and extent of contamination has been submitted to and approved in writing by the local planning authority. This assessment must be undertaken by a competent person and shall assess any contamination on the site, whether or not it originates from the site. Moreover, it must include;

- (i) details of previous land uses;
- (ii) a site investigation survey of the extent, scale and nature of contamination;
- (iii) an assessment of the potential risks to;
 - a) human health,
 - b) property*,
 - c) adjoining land,
 - d) groundwaters and surface waters,
 - e) ecological systems and
 - f) archaeological sites and ancient monuments.

* Property (existing or proposed) includes buildings, crops, livestock, pets, woodland and service lines and pipes

B. Submission of Remediation Scheme

Where contaminated is found which poses unacceptable risks, as determined by the local planning authority in its response to (A), no development shall take place until a detailed remediation scheme has been submitted to and approved in writing by the local planning authority. The scheme shall include;

- (i) an options appraisal and remediation strategy;
- (ii) remediation objectives and remediation criteria;
- (iii) remediation works to be undertaken and the order in which the works will be progressed;
- (iv) a verification scheme providing details of the data that will be collected in order to demonstrate that the works set out in (iii) have been completed and identifying any requirements for longer-term monitoring of contaminant linkages, maintenance and arrangements for contingency action.

The scheme should be designed to ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use.

C. Implementation of Approved Remediation Scheme

Where a detailed remediation scheme has been required and approved under (B), no occupation of any part of the permitted development which has been identified in the scheme as being subject to contamination shall take place until the approved scheme has been implemented and the verification report, including the results of sampling and monitoring carried out in accordance with the approved verification scheme to demonstrate that the site remediation criteria have been met, has been submitted to and approved in writing by the local planning authority. The report shall, if required by the local planning authority, also include a reassessment of the long-term monitoring of contaminant linkages, maintenance and arrangements for contingency action. The long-term monitoring and maintenance proposals shall be implemented as finally approved.

D. Reporting of Unexpected Contamination

If, during development, contamination not previously identified is found to be present at the site;

(i) it shall be reported in writing to the local planning authority within 1 working day;

(ii) no further development (unless otherwise agreed in writing by the local planning authority) shall be carried out until site investigations have been undertaken and a remediation strategy has been submitted to and approved in writing by the local planning authority detailing how this unsuspected contamination will be dealt with;

(iii) the remediation strategy shall be implemented as approved;

(iv) no occupation of any part of the permitted development identified in the remediation strategy as being affected by the previously unidentified contamination shall take place until;

a) the approved scheme has been implemented in full and any verification report required by the scheme has been submitted to and approved in writing by the local planning authority;

b) if required by the local planning authority, any proposals for long-term monitoring of contaminant linkages, maintenance and arrangements for contingency action have been submitted to and approved in writing by the local planning authority.

(v) the long-term monitoring and maintenance plan shall be implemented as approved.

Reason: To demonstrate that the site is suitable for approved use in the interests of environmental and public safety in accordance with Policies LP14 and LP37 of the Huntingdonshire Local Plan to 2036.

Written scheme of investigation (WSI)

9. No development, including demolition, shall commence until a programme of archaeological work has been implemented which has been secured in accordance with a written scheme of investigation (WSI) which that WSI has been submitted to and approved in writing by the local planning authority. For land that is included within the WSI, no demolition/development shall commence other than under the provisions of the agreed WSI, which shall include:
- (a) The statement of significance and research objectives;
 - (b) The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works; and
 - (c) The timetable for the field investigation as part of the development programme;
 - (d) The programme and timetable for the analysis, publication and dissemination, and deposition of resulting material.

Reason: This is a pre-commencement condition to ensure that before any demolition and/or development commences an appropriate archaeological investigation of the site has been submitted and thereafter implemented in accordance with that investigation in accordance with Policy LP30 of the Huntingdonshire Local Plan to 2036.

On-site parking and turning has been laid out

10. No part of the development shall be occupied until the proposed space for on-site parking and turning has been laid out, demarcated, levelled, surfaced and drained in accordance with approved drawing number LCW-SH-SL-AR-1001 and thereafter retained for that specific use.

Reason: In the interests of highway safety in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Roads, footpaths etc

11. No works shall commence on site until such time as detailed plans of the Roads, footways, cycleways, foul and surface water drainage have been submitted to and approved in writing by the Local Planning Authority. All construction works shall be carried out in accordance with the approved plans.

Reason: To ensure satisfactory development of the site and a satisfactory Standard of highway design and construction. In the interests of highway safety in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Temporary facilities

12. Temporary facilities shall be provided clear of the public highway for the parking, turning, loading and unloading of all vehicles visiting the site during the period of construction.

Reason: In the interests of highway safety in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Visibility splays

13. The development, hereby permitted, shall not be occupied or brought into use, until visibility splays have been provided each side of the vehicular access in full accordance with the details indicated on the submitted plan no. LCW-SH-SL-AR-1001 Rev. P12. The splays shall thereafter be maintained free from any obstruction exceeding 0.6m above the level of the adjacent highway carriageway.

Reason: In the interests of highway safety in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Wheel Washing

14. Prior to the commencement of development of the site, wheel washing facilities shall be provided, and maintained, on-site, with details of such facilities to be submitted and approved in writing by Local Planning Authority.

Reason: To prevent mud and extraneous material being deposited on the highway and in the interests of highway safety in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Construction Traffic Management Plan

15. No demolition or construction works shall commence on site until a construction traffic management plan has been submitted to and agreed in writing by the Local Planning Authority. The principal areas of concern that should be addressed are:
- (a) Movement and control of muck away vehicles (all loading and unloading should be undertaken where possible off the adopted public highway)
 - (b) Contractor parking, with all such parking to be within the curtilage of the site where possible
 - (c) Movements and control of all deliveries (all loading and unloading should be undertaken off the adopted public highway where possible.)
 - (d) Control of dust, mud and debris, and the means to prevent mud or debris being deposited onto the adopted public highway
 - (e) Possible local delivery time restrictions.
- The traffic management plan shall be carried out for the duration of the development in accordance with the approved details.

Reason: To ensure that before development commences, highway safety will be maintained during the course of development in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

The development hereby approved shall not be occupied until the access and turning area hereby approved have been provided in accordance with the approved drawings. The access and turning area shall be retained free of obstruction.

Reason: In the interests of highway safety in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Road Surfacing Level

16. No dwelling shall be occupied until the road(s), footway(s) and cycleway(s) required to access that dwelling have been constructed to at least binder course surfacing level from the dwelling to the adjoining road in accordance with details to be submitted to approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: In the interests of highway safety and to achieve a permeable development with ease of movement and access for all users and abilities in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Management and maintenance of streets

17. Prior to first occupation of any dwelling hereby permitted, details of the proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved in writing by the Local Planning Authority. The streets shall thereafter be maintained in accordance with the approved details until such time as an Agreement has been entered into unto Section 38 of the Highways Act 1980 or a Private Management and Maintenance Company has been established and thereafter manages and maintains the proposed streets in accordance with the approved details.

Reason: In the interests of highway safety and to achieve a permeable development with ease of movement and access for all users and abilities in accordance with Policies LP12 and LP17 of the Huntingdonshire Local Plan to 2036.

Biodiversity Method Statement

18. No development above slab level shall take place until a Biodiversity Method Statement which provides details of how the recommendations contained in the Preliminary Ecological Appraisal, received by the LPA 06/05/2026, will be carried out has been submitted to and approved in writing by the Local Planning Authority. The details shall include but not be limited to; specification, location, timing, an implementation programme, maintenance, and monitoring. The development shall be carried out in accordance with the approved details.

Reason: To ensure the conservation and enhancement of on-site

biodiversity in accordance with Policy LP30 of the Huntingdonshire Local Plan to 2036.

Landscape and Ecological Management Plan (LEMP)

19. No development above slab level shall commence until a Landscape and Ecological Management Plan (LEMP) has been submitted to and approved in writing by, the local planning authority. The LEMP shall include the following:

- (a) Description and evaluation of features to be managed.
- (b) Ecological trends and constraints on site that might influence management.
- (c) Aims and objectives of management.
- (d) Appropriate management options for achieving aims and objectives.
- (e) Prescriptions for management actions.
- (f) Prescription of a work schedule (including an annual work plan capable of being rolled forward over a five-year period).
- (g) Details of the body or organisation responsible for implementation of the plan.
- (h) Ongoing monitoring and remedial measures.

The LEMP shall also include details of the legal and funding mechanism(s) by which the long-term implementation of the plan will be secured by the developer with the management body(ies) responsible for its delivery. The plan shall also set out (where the results from monitoring show that conservation aims and objectives of the LEMP are not being met) contingencies and/or remedial action will be identified, agreed and implemented so that the development still delivers the fully functioning biodiversity objectives of the originally approved scheme. The approved plan will be implemented in accordance with the approved details.

Reason: This is a pre-commencement condition to ensure an appropriate ecological design strategy has been agreed in order to fully complement or enhance features of biodiversity value in accordance with Policy LP30 of the Huntingdonshire Local Plan to 2036.

Foul Water

20. No development above ground level shall commence until a scheme for the provision and implementation of foul water drainage has been submitted to and approved in writing by the Local Planning Authority. The scheme shall subsequently be implemented in accordance with the approved details prior to the occupation of any part of the development or in accordance with an implementation programme agreed in writing with the Local Planning Authority.

Reason: To reduce the risk of pollution to the water environment and to ensure a satisfactory method of foul water drainage in accordance with Policies LP6 and LP37 of the Huntingdonshire Local Plan to 2036.

Surface water

21. No development above ground level, other than demolition, shall commence until a detailed surface water drainage scheme for the site (including a CCTV survey of the existing surface water sewer), based on the agreed Drainage Statement prepared by Willam Saunders dated 20/03/2026 has been submitted to and approved in writing by the Local Planning Authority. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed.

Reason: To ensure a satisfactory method of surface water drainage and to prevent the increased risk of flooding in accordance with Policies LP5, LP12 and LP15 of the Huntingdonshire Local Plan to 2036.

Fire Hydrants

22. No development above slab level shall commence until a scheme for the provision and location of fire hydrants has been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the approved scheme has been implemented.

Reason: To ensure an adequate water supply is available for emergency use in the interests of public safety retained in accordance with Policy LP12 of the Huntingdonshire Local Plan to 2036.

Water efficiency

23. The dwelling(s) hereby permitted shall be constructed and fitted out to comply with the Building Regulations 2010 (as amended) optional requirement for water efficiency, as set out in Approved Document G (or replacement standards) prior to first occupation. Such provision shall be maintained for the lifetime of the development.

Reason: In accordance with Policy LP12 of the Huntingdonshire Local Plan to 2036.

Informative: The person carrying out building work must inform the building control body that the optional requirement for Water Efficiency (As set out in Approved Document G) and M4(2) applies.

Accessible and adaptable

24. The dwelling(s) hereby permitted, shall be constructed and fitted out to comply with the Building Regulations 2010 (as amended) optional requirement M4(2) 'accessible and adaptable' (or replacement standard), prior to occupation. Such provision shall be maintained for the lifetime of the development.

Reason: To ensure the units are accessible and adaptable in accordance with Policy LP25 of the Huntingdonshire Local Plan to 2036.

Biodiversity Net Gain

25. The development shall not commence (including site clearance, demolition, or ground works) until:
- a) A biodiversity net gain plan to achieve 10% biodiversity net gain (BNG) has been submitted to the planning authority; and
 - b) The planning authority has approved the plan.

Key requirements:

The biodiversity net gain plan should include but not be limited to the following:

- a) The completed metric calculation tool showing the calculations of the predevelopment and post intervention biodiversity values.
- b) Pre and post development habitat plans
- c) Legal agreement(s) where on site biodiversity net gain is proposed
- d) Biodiversity Gain Site Register reference numbers (if using off-site units).

The biodiversity net gain plan must be completed using the DEFRA Biodiversity Gain Plan Template (or any subsequent update published on GOV.UK) and shall be implemented in accordance with the approved details.

Reason: To ensure the development delivers a biodiversity net gain and secures the protection and effective management of the remaining habitat on site in accordance with Schedule 7A of the Town and Country Planning Act 1990, the NPPF 2024 and Policy LP30 of the Huntingdonshire Local Plan to 2036.

Finished Floor Levels

26. No development, except for demolition or site clearance, shall take place until details showing the finished floor levels of the dwellings hereby permitted in relation to the existing and proposed ground levels of the site and surrounding land has been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure that before any development commences impact on the amenity of the area can be fully assessed and protected in accordance with Policies LP12 and LP14 of the Huntingdonshire Local Plan to 2036 and to prevent the increased risk of flooding in accordance Policy LP5 of the Huntingdonshire Local Plan to 2036.

Cycle Storage

27. Notwithstanding the details shown on the plans hereby approved, prior to first occupation of any dwelling hereby permitted, details of the facilities for the provision of secure covered cycle parking for use in connection with the development have been submitted to and approved in writing by the Local Planning Authority. The details shall include the siting, means of enclosure and, where appropriate, appearance and materials. The facilities shall be provided in accordance with the approved details before the use hereby permitted is commenced and shall be retained as such.

Reason: To ensure appropriate provision for the secure storage of bicycles to encourage sustainable travel in accordance with Policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036 and the Huntingdonshire Design Guide SPD 2017.

Landscaping

28. Notwithstanding the details submitted on Boundary and Landscape Plan (LCW-SH-BLP-AR-1002-P09, no development, other than demolition or site clearance works, shall commence until details of a hard and soft landscaping scheme have been submitted to and approved in writing by the Local Planning Authority. These details shall include:

- (a) proposed finished levels or contours; means of enclosure; car parking layouts, other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (e.g. furniture, play equipment, refuse or other storage units, signs, lighting); proposed and existing functional services above and below ground (e.g. drainage, power, communications cables, pipelines indicating lines, manholes, supports); retained historic landscape features and proposals for restoration, where relevant;
- (b) indications of all existing trees and hedgerows on the land and details of any to be retained; planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate;
- (c) a landscape maintenance plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas;
- (d) boundary treatments indicating the positions, design, materials and type of boundary treatments to be erected.
- (e) defensible threshold planting details

Reason: To ensure the development is satisfactorily assimilated into the area and enhances biodiversity in accordance with Policies LP11, LP12 and LP31 of the Huntingdonshire Local Plan to 2036.

Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk

Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 25/02130/FUL Case Officer Charlotte Dew

Proposal: Proposed residential development of 21no homes including road infrastructure, landscaping and other associated infrastructure

Location: Land West Of Longlands Close Warboys

Observations of Warboys Town/Parish Council.

Please ✓ box as appropriate

Recommend **approval** because(please give relevant planning reasons in space below)

Recommend **refusal** because...(please give relevant planning reasons in space below)
[see comment below](#)

No observations either in favour or against the proposal

Emmeline Coverdale Clerk to Warboys Town/Parish Council. (For GDPR purposes please do not sign)

Date : 09/12/25

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Development.control@huntingdonshire.gov.uk

(Development Management)

The council would ask that you refuse this application due to the unacceptable highways impact. The proposal for 21 new dwellings would significantly increase traffic using Longlands Close, a narrow residential road not designed for this level of vehicle movement. This would worsen congestion, reduce visibility, and increase risks to pedestrians, residents, and service vehicles. Longlands Close feeds directly onto Ramsey Road, which is already heavily congested and awaiting traffic-calming measures due to existing safety concerns. Adding further traffic will exacerbate these issues. There has also been a significant number of objections from local residents, highlighting widespread concern about the project, including highways and safety impacts. The application fails to demonstrate that safe and suitable access can be achieved or that the development would avoid a severe cumulative impact on the local road network, as required by planning policy. For these reasons, the proposal should be refused.

[REDACTED]

From: Clerk <Clerk@warboysparishcouncil.gov.uk>
Sent: 10 February 2026 11:18
To: DMAdmin
Subject: Re: Planning Permission Consultation - Land West Of Longlands Close Warboys (ref 25/02130/FUL)

Good morning,

Following a meeting of Warboys Planning Committee last night the members voted to recommend objection to the above planning application for the following reasons:

The application should be refused due to unresolved access, ownership and infrastructure constraints. Longlands Close is a privately owned, unadopted road, with ownership understood to lie with a management committee, though this is not clearly established and appears to be unknown to residents. The applicant has not demonstrated legal rights of access, long-term maintenance arrangements, or that the additional use of this private road would be acceptable. Objections have been received from residents of Longlands Close and the wider area, reflecting concerns about increased traffic, disruption and harm to residential amenity.

In addition, a main sewer runs through the land, requiring special provision and approval to allow development, which has not been adequately addressed. There are also unresolved surface water drainage concerns, as the development cannot demonstrate a suitable means of connection without reliance on the privately owned road. As the site plan is an open-ended road, the proposal also raises concerns about setting a precedent for further development and incremental growth, the cumulative impacts of which have not been assessed. Taken together, these issues mean the application fails to demonstrate that the development can be delivered in a safe, sustainable and acceptable manner and should therefore be refused.

Best wishes,

[REDACTED]

Clerks

On behalf of Warboys Parish Council
Warboys Community Centre | High Street | Warboys | PE28 2TA
Warboysparishcouncil.gov.uk

[REDACTED]



**WARBOYS
PARISH
COUNCIL**

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Share your thoughts on [Climate & Environment in Warboys](#)

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From: Dmadin@huntingdonshire.gov.uk <Dmadin@huntingdonshire.gov.uk>
Sent: 28 January 2026 16:36
To: Clerk <Clerk@warboysparishcouncil.gov.uk>
Subject: RE: Planning Permission Consultation - Land West Of Longlands Close Warboys (ref 25/02130/FUL)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Proposed residential development of 21no homes including road infrastructure, landscaping and other associated infrastructure

Site Address: Land West Of Longlands Close Warboys

Reference: 25/02130/FUL

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We are continually striving to improve the service we deliver to our customers. As part of this we are now contacting our customers by email where possible in an effort to provide a faster, more efficient service.

If you would prefer not to receive correspondence from us via email you have the right to opt out. If you wish to opt out please contact us at the address provided below so that we can remove your email details from our records.

Keeping safe on the internet

You should never open a file attached to an email when you do not trust the sender's authenticity.

We will only contact you via email when you have already contacted us in relation to this specific application (or one directly related to it) and provided your email address as a contact - we will not transfer your contact details between unrelated applications.

If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management
Huntingdonshire District Council

T: 01480 388388
E: dmadin@huntingdonshire.gov.uk

Disclaimer

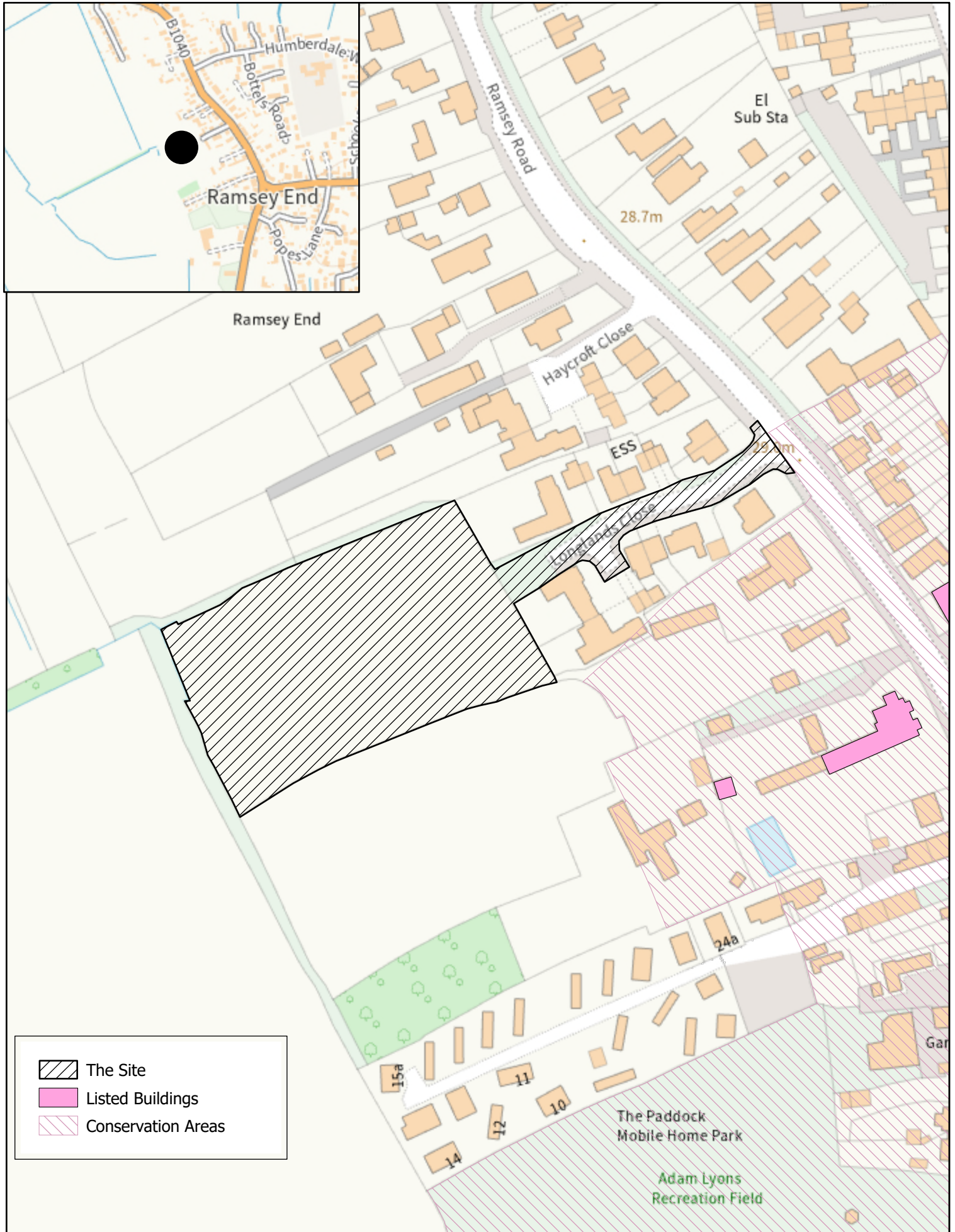
Development Management Committee

Application Ref: 25/02130/FUL



Scale = 1:1,500

Date Created: 12/06/2026



LONGLANDS CLOSE, WARBOYS

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IF IN DOUBT ASK!



Layout approved under Reference 23/02505/REM for Reserved Matters (20/00308/OUT) for erection of 24no. dwellings. (Including affordable housing, with parking areas, landscaping and other associated infrastructure, following the demolition of no.21 Ramsey Road and associated outbuildings)

Rev	Notes	Date	By
P04	Red line corrected at site entrance	26.11.25	MD
P03	Plan updated	26.08.25	MD
P02	Red line updated	19.06.25	MD
P01	1st Issue	23.01.25	MD



Project:
**PROPOSED LAND OFF LONGLANDS CLOSE
WARBOYS, CAMBS. PE28 2FF**

Drawing:
LOCATION PLAN

Drawn: **MD** Date: **23.01.25**














Status: **PLANNING** Scale: **1:1250 @ A3**

Drawing Number: **LCW-SH-LP-AR-1000** Revision: **P04**



LONGLANDS CLOSE - WARBOYS

LEGEND

- Application Site Boundary 
- Proposed Housing 
- Private Gardens/Green Space 
- SUDS 
- Drives/Parking 
- Adoptable road/ Footpaths 
- Private Footpaths 
- Indicative Tree & Shrub Planting 
- Trees/hedge to be removed 
- Existing Trees 
- Primary Site Access 
- Vehicular/pedestrian visibility splays (2.0m x 2.0m) 
- Side Window 
Optional window in lounge to provide natural surveillance. Refer to site layout for actual locations.

House Type Schedule		
1 Bed Houses S105 (48.6m ²)	9, 10	2
2 Bed Houses S213 V3 (68.6m ²)	5, 6, 7, 8, 15, 16, 17	7
3 Bed Houses S324 V4 (83m ²) S325 V2 (90m ²)	1, 2, 3, 4, 12, 18, 19, 20, 21 11	9 1
4 Bed Houses S431 (120m ²)	13, 14	2
Total =		21

Affordable housing provision
● S10 (Plan 1 & 6)
● Rented (Plan 1, 2, 3, 4, 12, 13, 14, 20, 21)

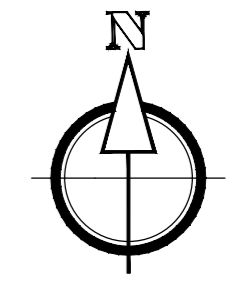
All dwellings comply with Part M4(2) of the Building Regulations.

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IF IN DOUBT ASK !



P12	Layout updated following comments from highways	28.04.26	MD
P11	Layout updated following comments from highways	15.04.26	MD
P10	Layout updated following comments from HDC	25.02.26	MD
P09	Layout updated following comments from HDC	22.01.26	MD
P08	Red line corrected at site entrance.	26.11.25	MD
P07	Dimensions added to plan (planning request) and house footprint updated to plots 15, 16, 17.	12.11.25	MD
P06	Layout amended following review	09.10.25	MD
P05	Basin size updated.	07.10.25	MD
P04	Layout amends following review	03.09.25	MD
P03	Layout amends following review	26.08.25	MD
P02	Layout amends following review	14.08.25	MD
P01	First Issue	01.08.25	MD
Rev	Notes	Date	By

Layout approved under Reference 23/02505/REM for Reserved Matters (20/00308/OUT) for erection of 24no. dwellings. (Including affordable housing, with parking areas, landscaping and other associated infrastructure, following the demolition of no.21 Ramsey Road and associated outbuildings)



Project: **PROPOSED RESIDENTIAL DEVELOPMENT, LONGLANDS CLOSE, WARBOYS, HUNTINGDON. PE28 2FF**

Drawing: **SITE LAYOUT (PLANNING)**

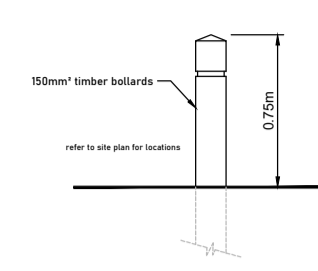
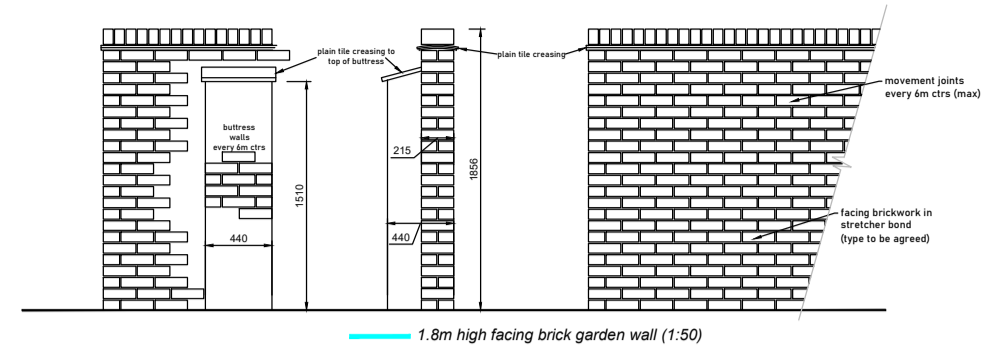
Drawn: **MD** Date: **AUG 2025**

Status: **PLANNING** Scale: **1:500 @ A2**

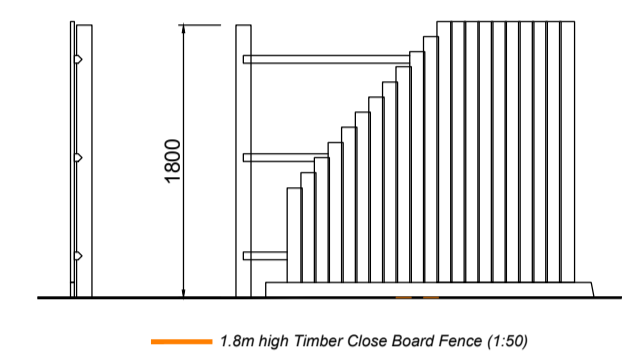
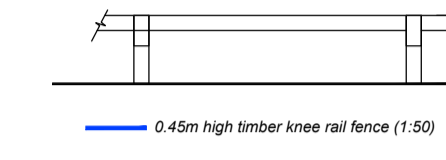
Drawing Number: **LCW-SH-SL-AR-1001** Revision: **P12**



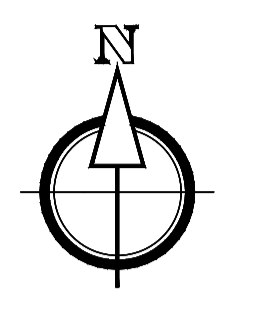
LONGLANDS CLOSE - WARBOYS



Detail (Not to scale)



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 All dimensions to be checked on site prior to construction or off-site fabrication by the Contractor, his Sub-contractor or Supplier.
 Do not scale plans - use figure or grid dimensions where given.
 Any deviation from the drawing is to be reported to the originator immediately.
 IF IN DOUBT ASK!



Planting Schedule		
Plant Species	Size	Spacing (m2)
LOW SHRUBS/ PERENNIALS		
CL	Crocsmia 'Lucifer'	8/10cm Bulb 5
CI	Chamaemelum	10L 30x40cm 5
ERSQ	Eurycomos fortunei 'Silver Queen'	1.5L 30x40cm 4
EES	Eurycomos fortunei 'Emerald Surprise'	1.5L 30x40cm 4
HAG	Hebe 'Autumn Glory'	2L 20x30cm 5
HARE	Hebe 'Red Edge'	2L 20x30cm 5
HMB	Hebe 'Midsummer Beauty'	2L 20x30cm 5
LAH	Lavandula 'Hidcote'	3L 30x40cm 4
PI.S	Pericallis 'Superta'	1L 20x30cm 5
PF	Potentilla fruticosa 'Abbotswood'	2L 20x30cm 4
Vm	Vinca minor	1.5L 5-10cm 5
PROPOSED TREES		
Aca	Acer campestre	HSB BR 12-14cm
Ace	Acer campestre 'Elatik'	HSB BR 12-14cm
Bp	Betula Pendula	HSB BR 12-14cm
Mp	Malus 'Prospira'	HSB BR 12-14cm
Pap	Prunus avium 'Piana'	HSB BR 12-14cm
Psk	Prunus serotina 'Kanzan'	HSB BR 12-14cm
Sa	Sorbus aucuparia	HSB BR 14-16cm
HEDGEROW		
FS	Fagus Sylvatica	50/50cm
BS	Buxus sempervirens (box)	30/40cm
		5linear meter (in a double staggered row)

Proposed External Materials

Bricks: MARSHALLS WOOLWICH VINTAGE

Tiles: RUSSELL GALLOWAY ANTHRACITE

RUSSELL PENNINE COTTAGE RED

Windows & rear/side doors - White UPVC
 Front Doors - Black Composite (with white frame)
 Facias, Sills & Bargeboards - White UPVC (unless brick verges, eaves)
 Flat White GRP Canopies, with lead effect roofing
 and white GRP pitch roof canopies to have tile finish to match main roof.
 Stone cladding to front elevation & brick detailing, as per elevation drawings (as per main facing brick)

Key

- Proposed Housing
- Private Gardens; Front Gardens
- Public Open / Green Space
- Principal Highway / Road & Footpaths- Tarmacadam
- Block Paving on Estate Road (demarcation only)
- Private Drives & Car Parking Spaces - Block paving (parking bays to be delineated with contrasting blocks where required. For colour placement - Boundary and External Works Plans. For space - Civic Package. Shared/communal parking to include numbering - details TBC)
- Footpaths adjacent to Parking Spaces - Block paving in Charcoal with contrasting delineation
- Communal Footpaths - 600x600mm Riven Peak Grey Paving Slabs. All principle entrances require 4x 600x600 paving slabs to create 1200mm landing (Bradstone or equivalent)
- Private Footpaths - 450x450mm Riven Peak Grey Paving Slabs (Bradstone or equivalent)
- Housetypes - Primary Point of Access
- 1.8m Close-boarded timber fencing
- 1.8m face brick garden wall (brick to match house)
- 0.45m knee rail fence
- Chimney(s) - These locations take precedent over house type drawings. (Refer to house type drawing for positions on roof)
- Individual Bin Locations
- Garden Shed (cycle storage - refer to details for size vs house type)
- Gates (FLB Square top timber fitted with galvanized hinges and latch)
- Existing Trees
- Proposed Tree Planting
- Proposed Hedge & Shrub Planting
- Timber bollards (used for kerbside parking)

Rev	Notes	Date	By
P09	Layout updated following comments from Highways	28.04.26	MD
P08	Layout updated following comments from Highways	15.04.26	MD
P07	Layout updated following comments from HDC	25.02.26	MD
P06	Layout updated following comments from HDC	22.01.26	MD
P05	Dimensions added to plan (planning request) and house footprint updated to plots 15, 16, 17.	12.11.25	MD
P04	Layout updated following review	09.10.25	MD
P03	Basin Size updated	07.10.25	MD
P02	Minor amend following review	03.09.25	MD
P01	First Issue	29.08.25	MD



Project: **PROPOSED RESIDENTIAL DEVELOPMENT, LONGLANDS CLOSE, WARBOYS, HUNTINGDON, PE28 2FF**

Drawing: **BOUNDARY ENCLOSURE AND LANDSCAPING**

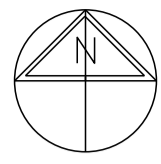
Drawn: **MD** Date: **JUNE 2025**

Status: **PLANNING** Scale: **1:250 @ A1**

Drawing Number: **LCW-SH-BLP-AR-1002** Revision: **P09**



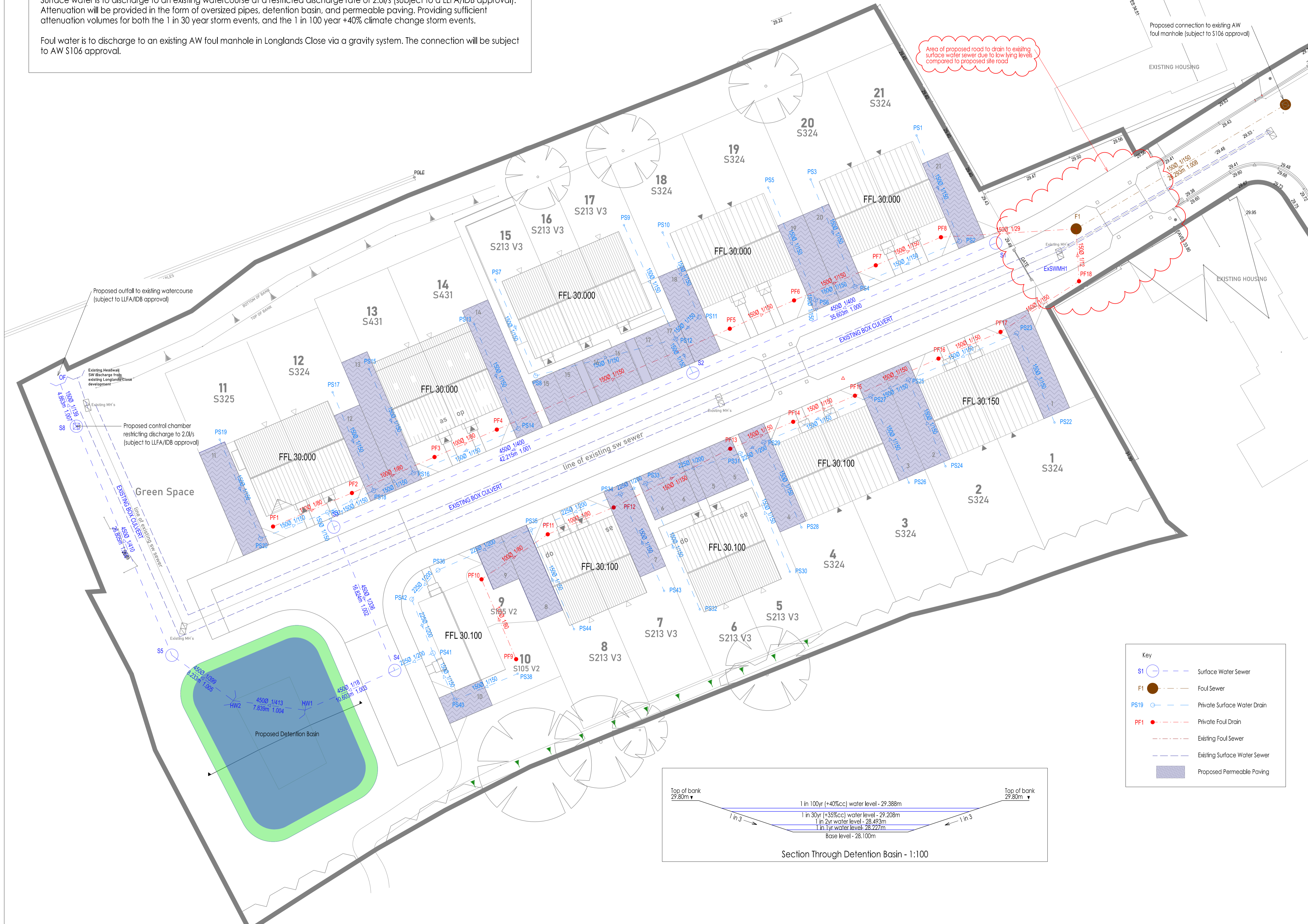
DRAWING TO BE READ IN CONJUNCTION WITH FINAL BNG REPORT BY PHILIP PARKER ASSOCIATES LTD (P2025-97 R2 FINAL)



Drainage Strategy

Surface water is to discharge to an existing watercourse at a restricted discharge rate of 2.0l/s (subject to a LLFA/IDB approval). Attenuation will be provided in the form of oversized pipes, detention basin, and permeable paving. Providing sufficient attenuation volumes for both the 1 in 30 year storm events, and the 1 in 100 year +40% climate change storm events.

Foul water is to discharge to an existing AW foul manhole in Longlands Close via a gravity system. The connection will be subject to AW S106 approval.



Key	
S1	Surface Water Sewer
F1	Foul Sewer
PS19	Private Surface Water Drain
PF1	Private Foul Drain
(dashed red)	Existing Foul Sewer
(dashed blue)	Existing Surface Water Sewer
(shaded blue)	Proposed Permeable Paving

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Contractors must verify all dimensions, levels and co-ordinates of the site before commencing any work or making any shop drawings: no dimensions to be taken from drawing. If in doubt, ask Williams Saunders for confirmation.

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Nothing on this drawing confers or purports to confer on any third party any benefit under the Contracts (Rights of Third Parties) Act 1999.

Rev	Description	Drn	Vfd	Date
P3	Architects layout updated, detention basin section added	PAE		22/01/26
P2	SW strategy revised - outfall to watercourse added	JW	PAE	07/10/25
P1	Initial issue	JW	ACG	04/09/25

As outlined in section 2.3 of the CIB Industry Guidance to Designers, insignificant risks can usually be ignored, as can risks arising from routine construction activities, unless the design compounds or significantly alters these risks. In accordance with CDM Regulations 8, 9 and 11, any significant risks relating to the design features shown on this drawing have been identified and are annotated thus:

No significant risks have been identified.

Significant risks have been identified - refer to notes on drawing for information on residual risks and any control measures to be employed.

Refer to the current Designer's Risk Assessment sheets for further details.

Designer's Signature: JW Date: 09/25

Drawing Status: **REGULATORY APPROVAL**

williamsaunders
 architecture: engineering: building consultancy
 The Kiln, Mather Road, Newark-on-Trent, Nottinghamshire, NG24 1FB.
 Tel: 01636 704361
 W: wmsaunders.co.uk
 Also at Leeds and Lincoln.

Project: Residential Development, Longlands Close, Warboys

Client: Seagate Homes(UK) Ltd

Title: Drainage Strategy

WmS Project Ref: 12988 Drawn: JW Date: 09/25 Scale: 1:200 @ A1

Project Originator Zone Level Type Role Number Status Rev: 12988 - WMS - ZZ - XX - D - C - 39200 - S8 - P3



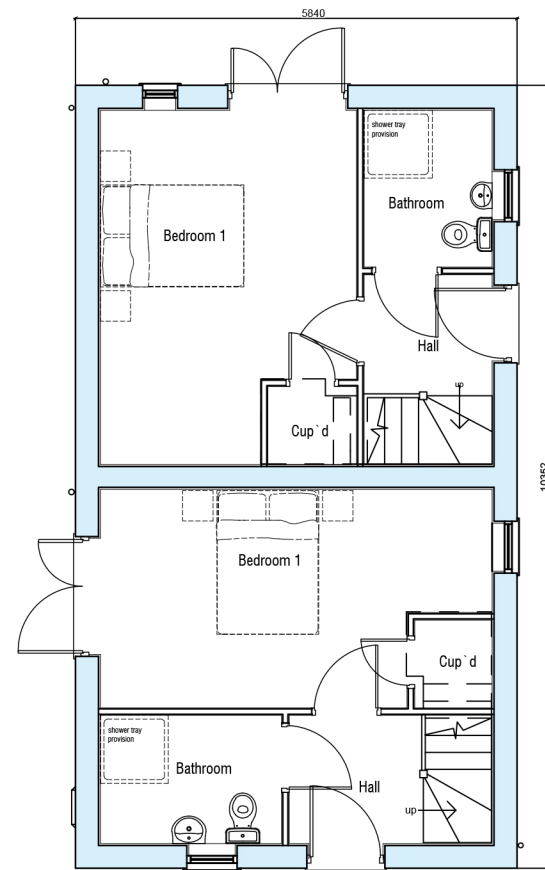
Front Elevation



Left Side Elevation



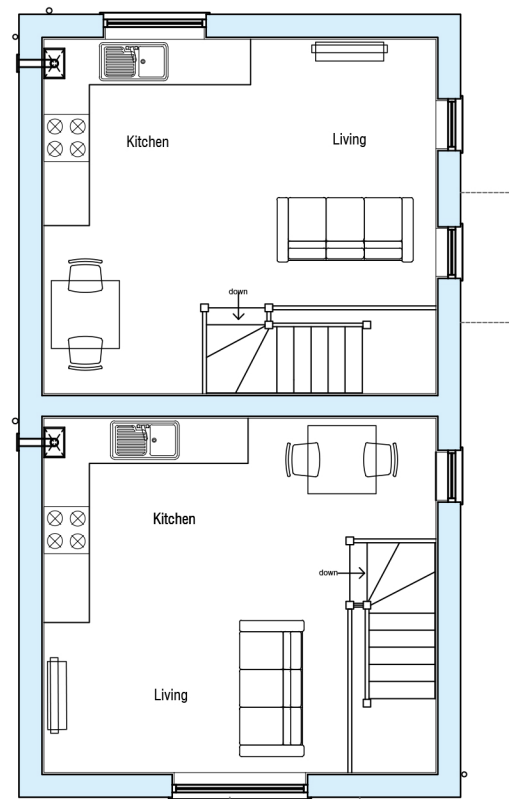
Rear Elevation



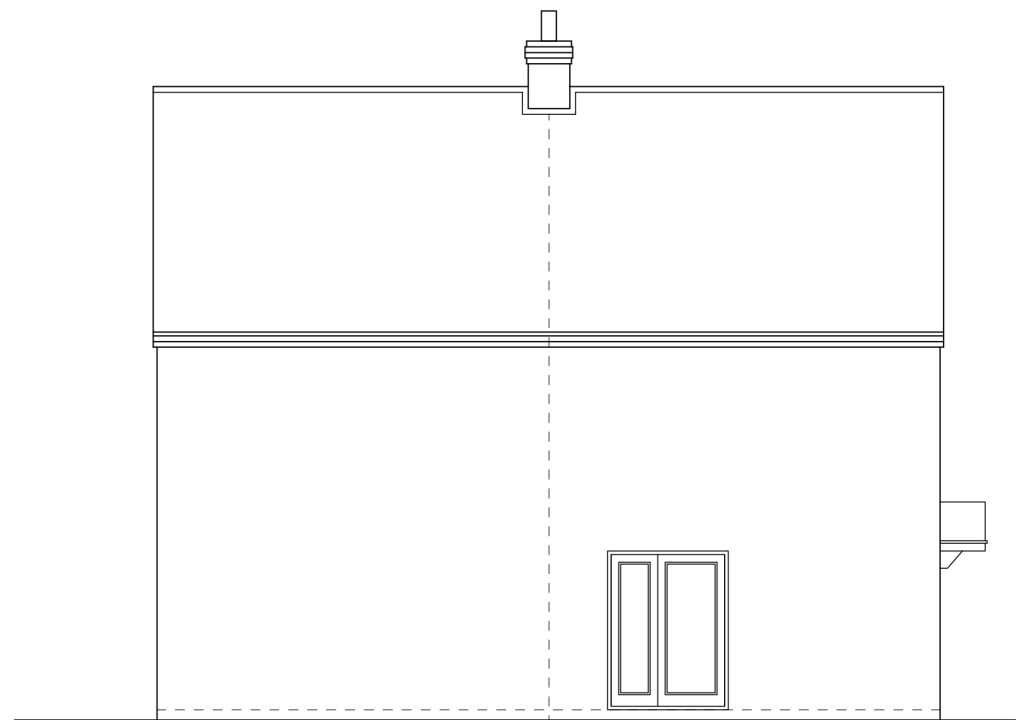
Ground Floor Plan

Internal Floor Area - 49.4m² - 531.74ft²

Note:
Bathrooms will be fitted with drainage and either a bath or level-access shower/wet room will be provided.



First Floor Plan



Right Side Elevation

House Type - S105 V2

Floor Plans

HT - S105V2 - 01 - Floor Plans & Elevations

1:100 @A3

Feb 2025

MD

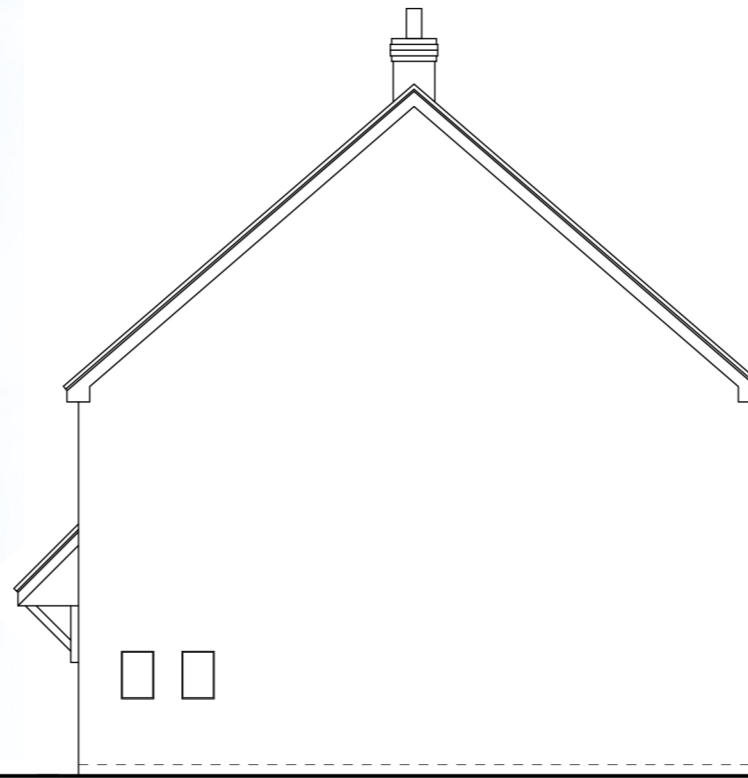
Rev E - Bathroom note amended 24.04.26



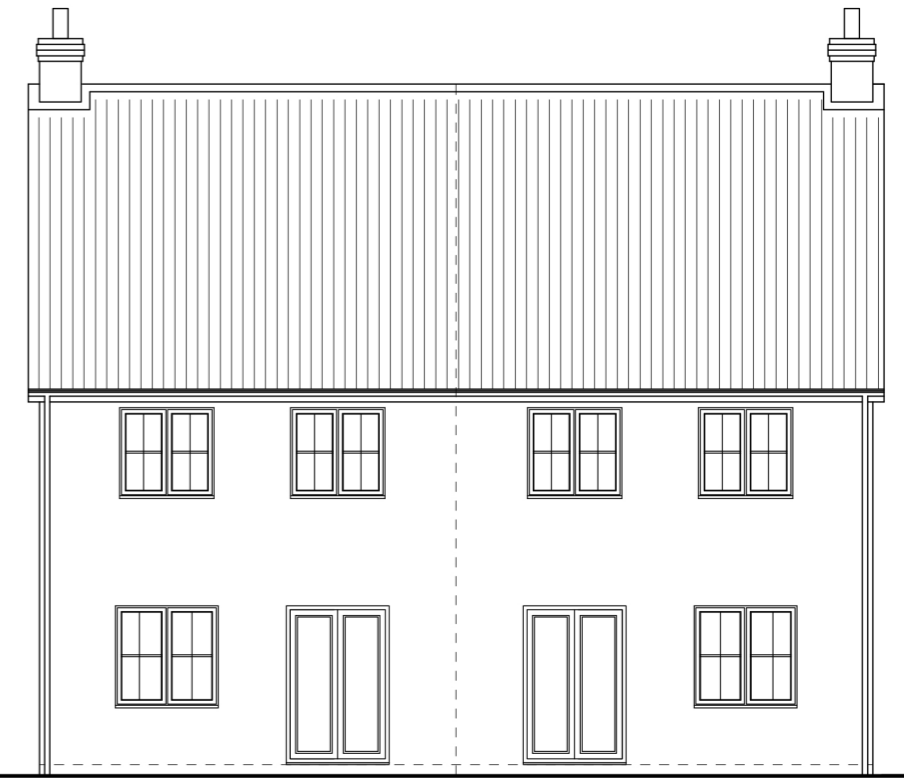
SEAGATE
HOMES



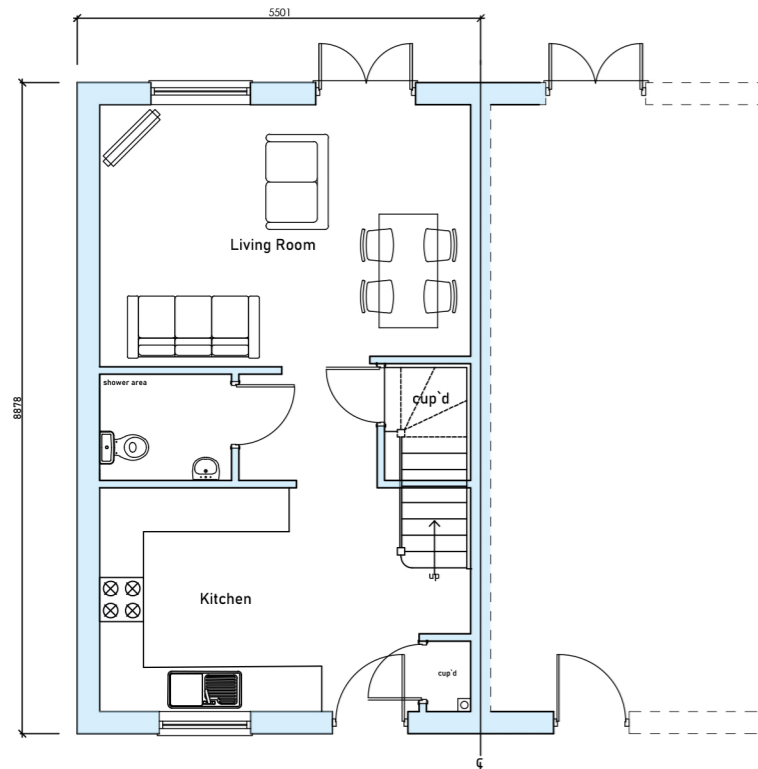
Front Elevation



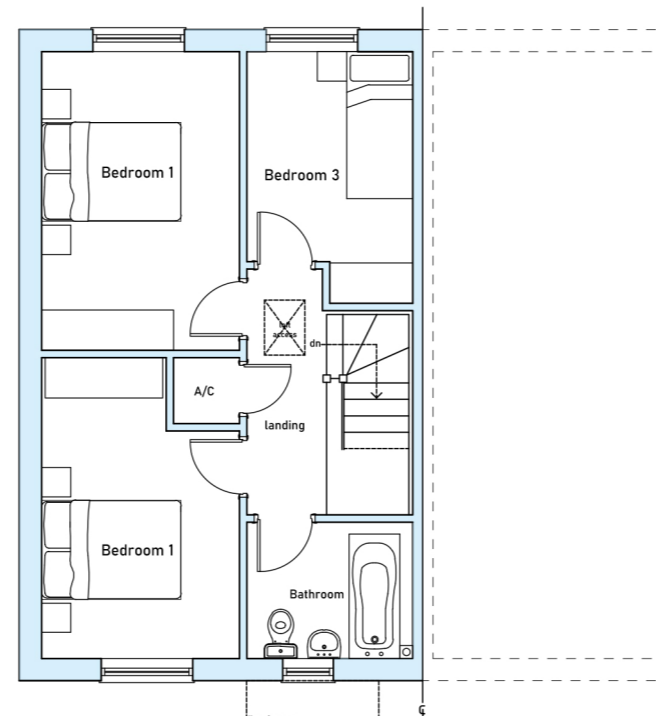
Side Elevation



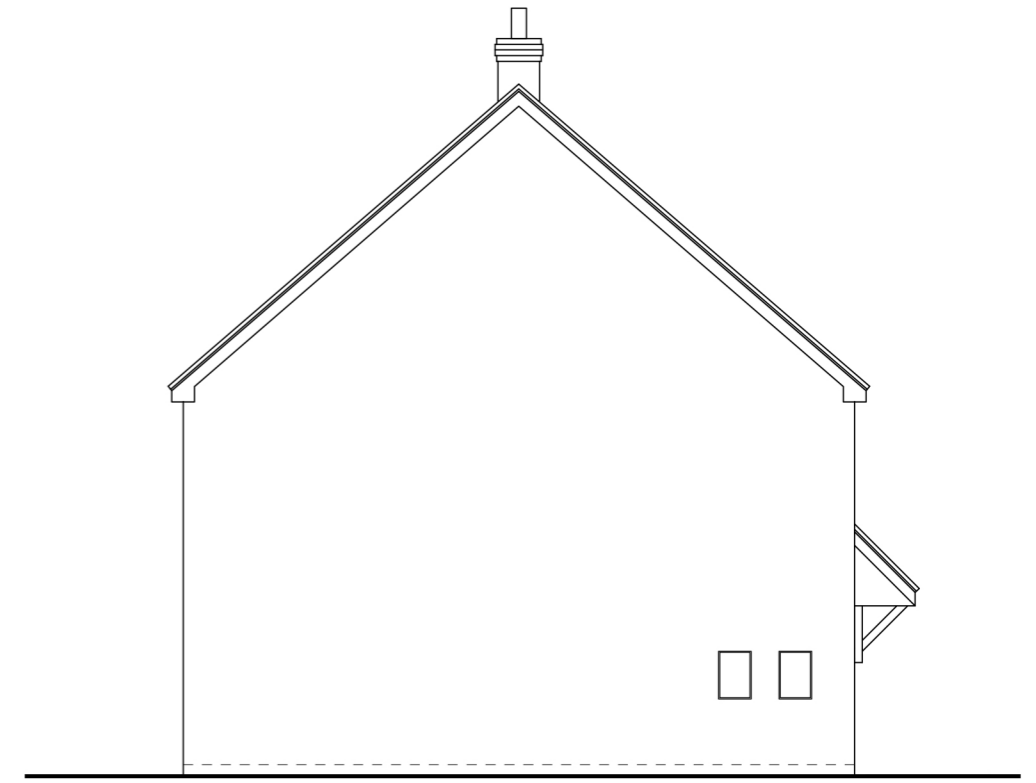
Rear Elevation



Ground floor plan



First floor plan



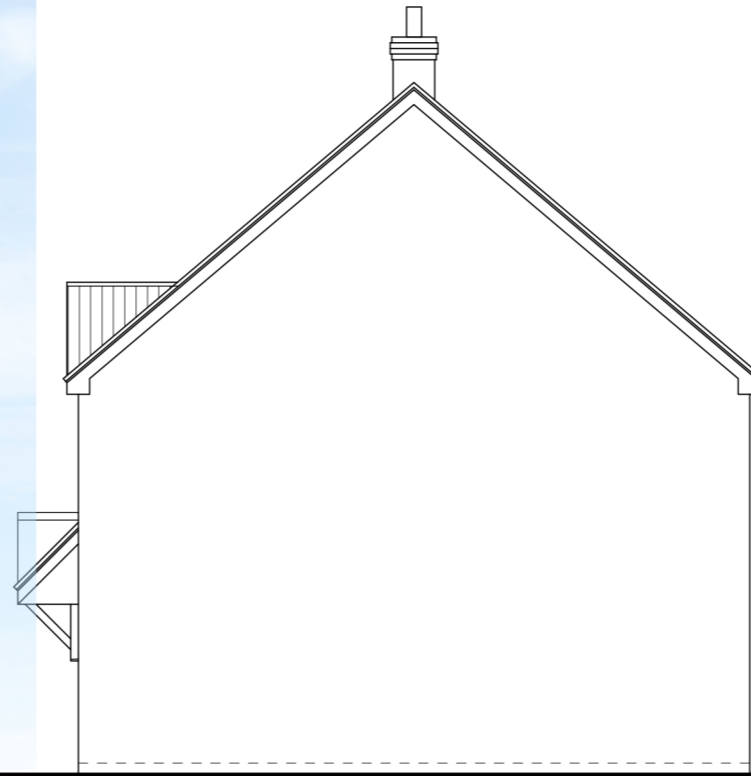
Side Elevation

House Type - S324

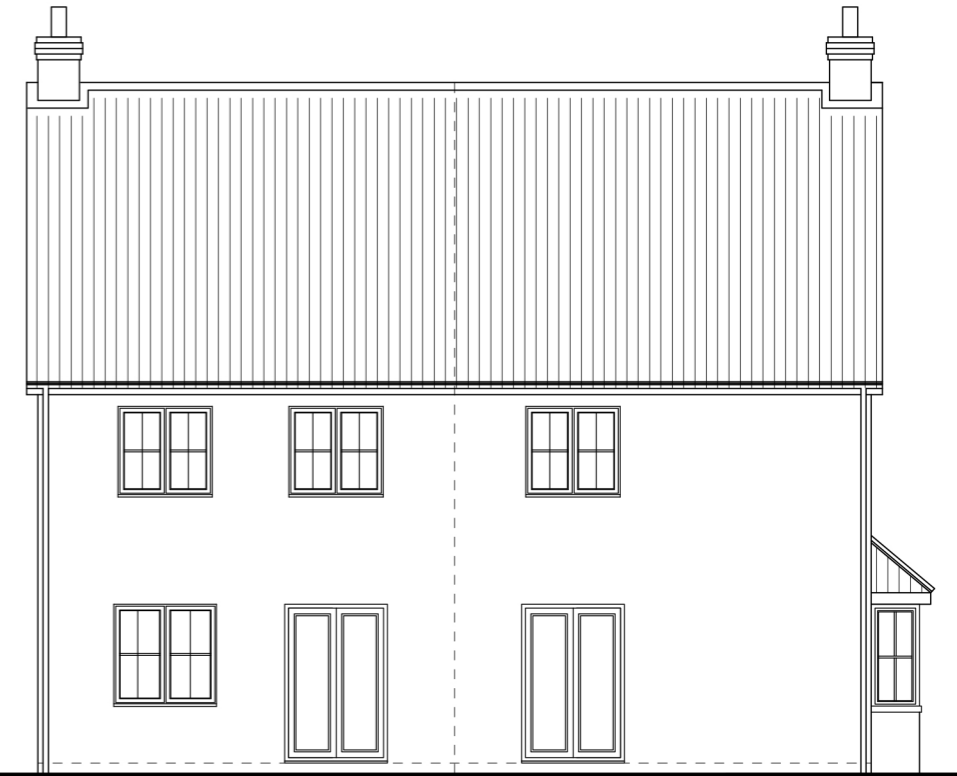
Floor Plans & Elevations



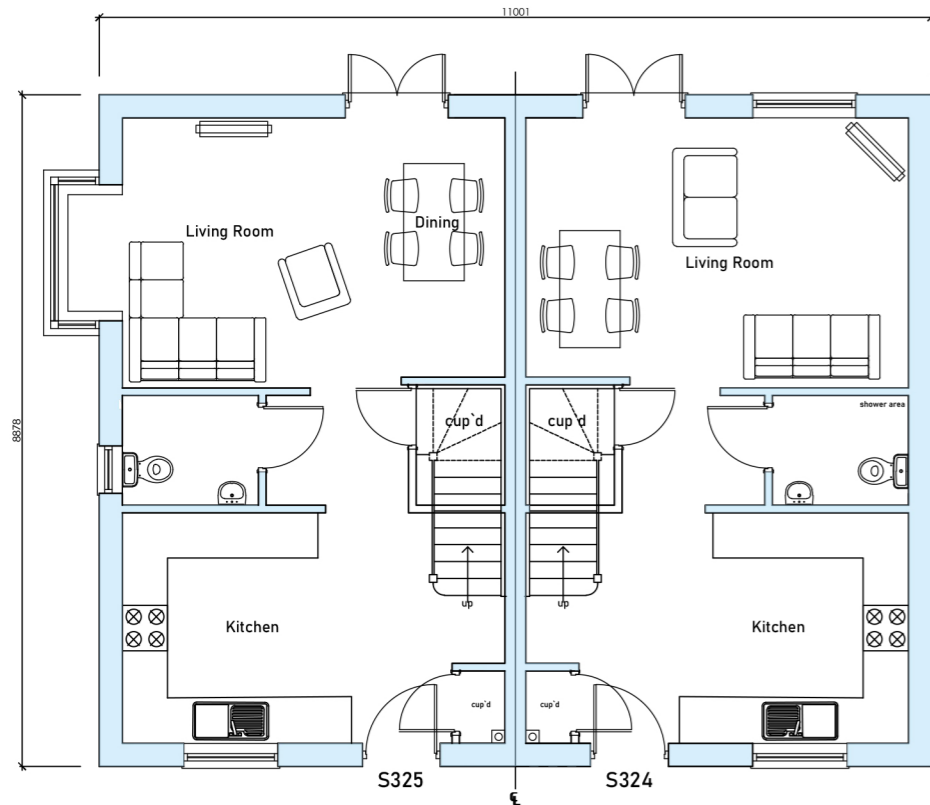
Front Elevation



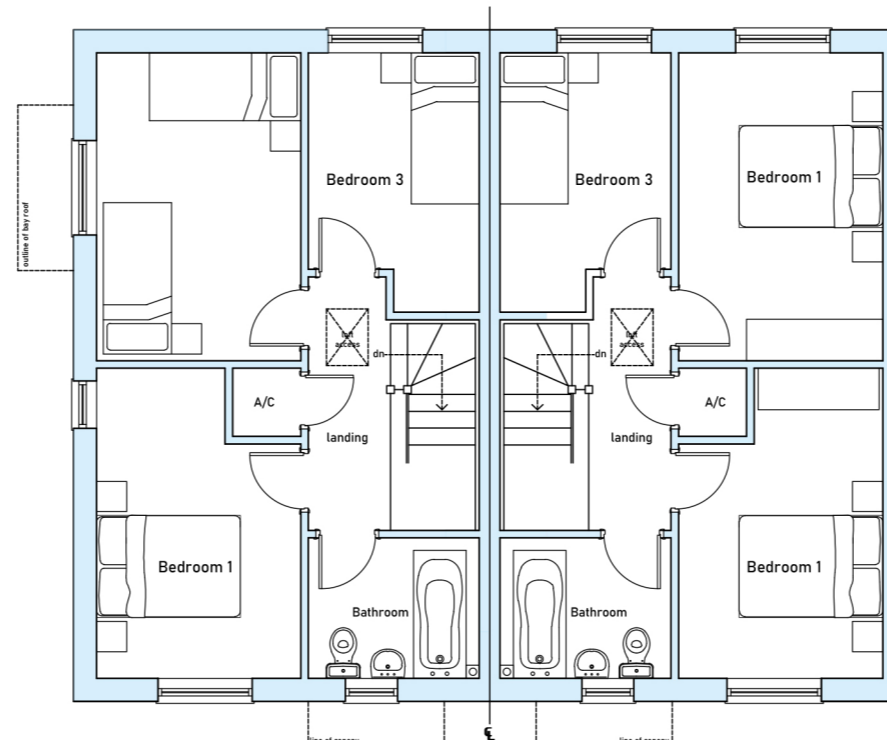
Side Elevation



Rear Elevation



Ground floor plan



First floor plan



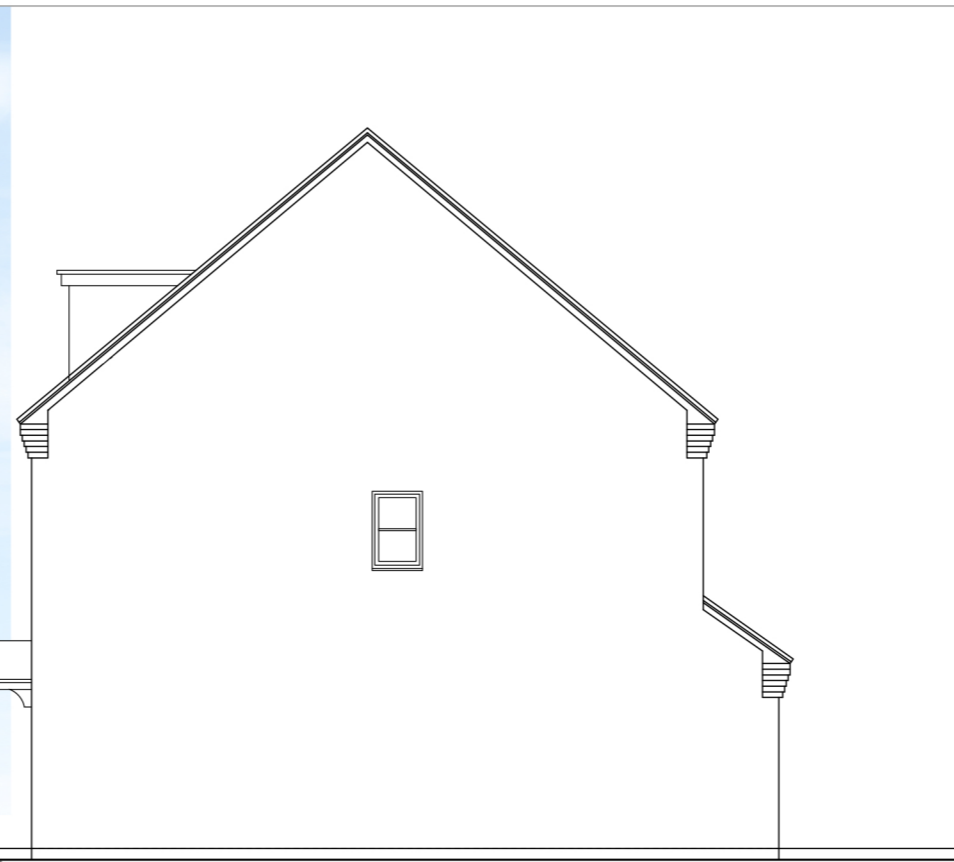
Side Elevation

House Type - S324 & S325

Floor Plans & Elevations



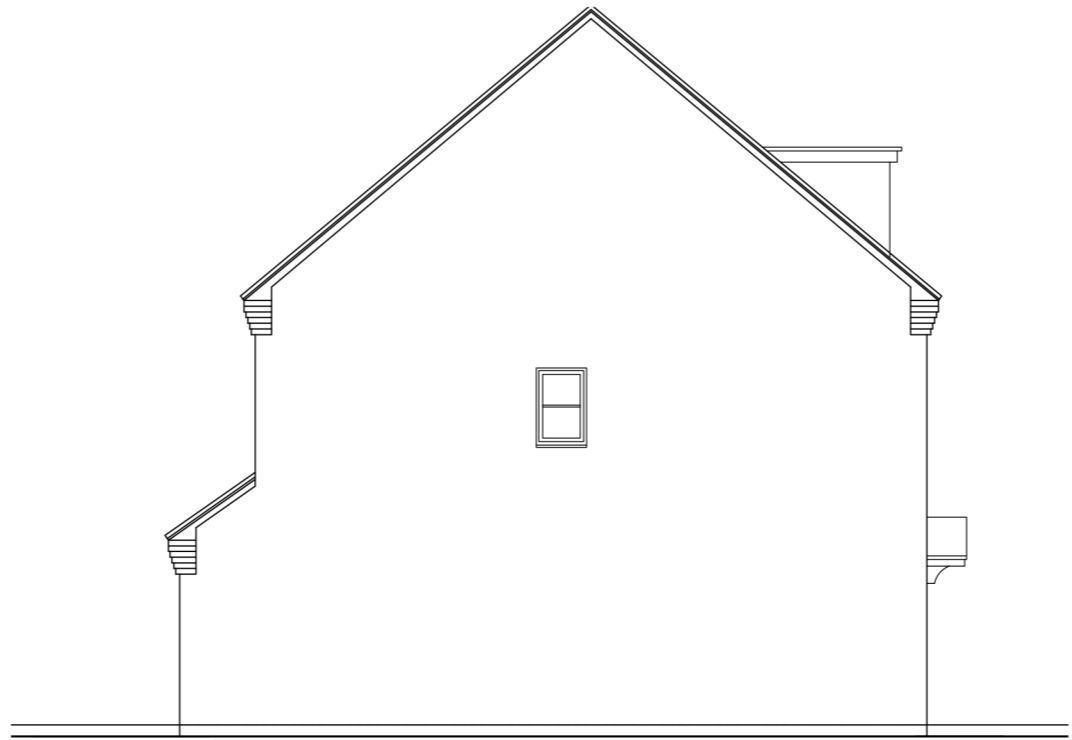
Front Elevation



Right Side Elevation



Rear Elevation



Left Side Elevation

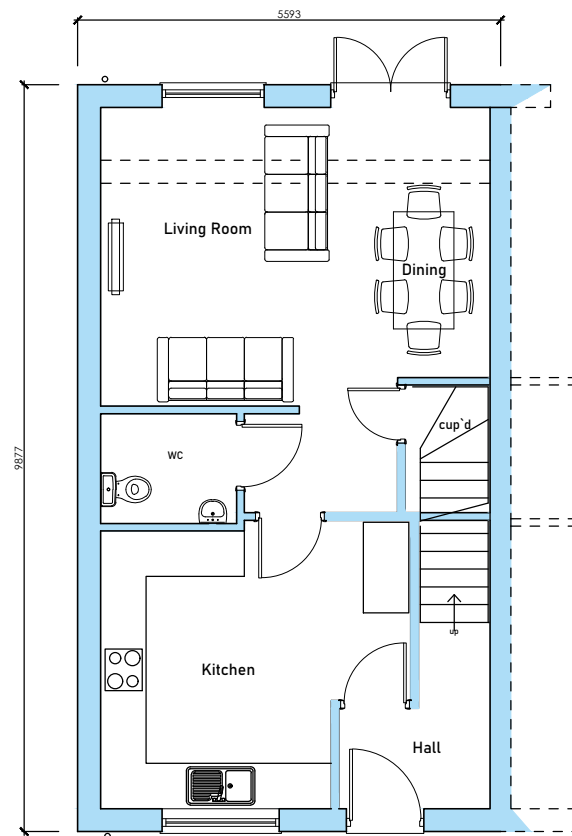
House Type - S431

Elevations

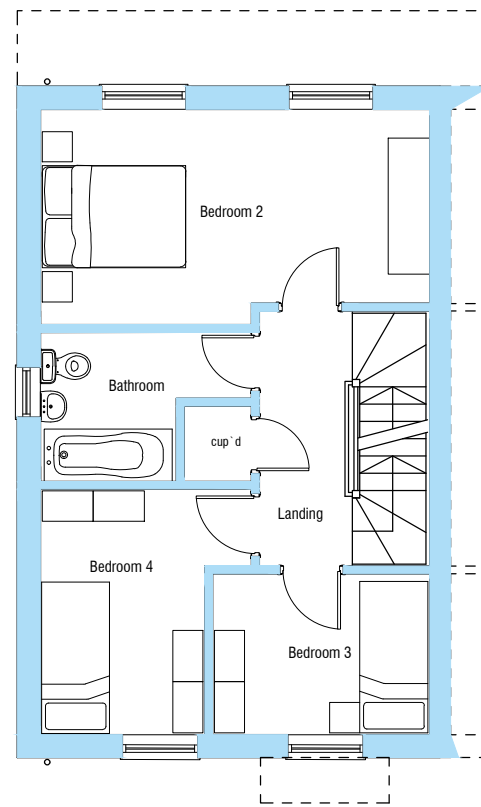
S431 - 02 - Elevations 1:100 @A3 October 2025

Rev A - Dimensions added

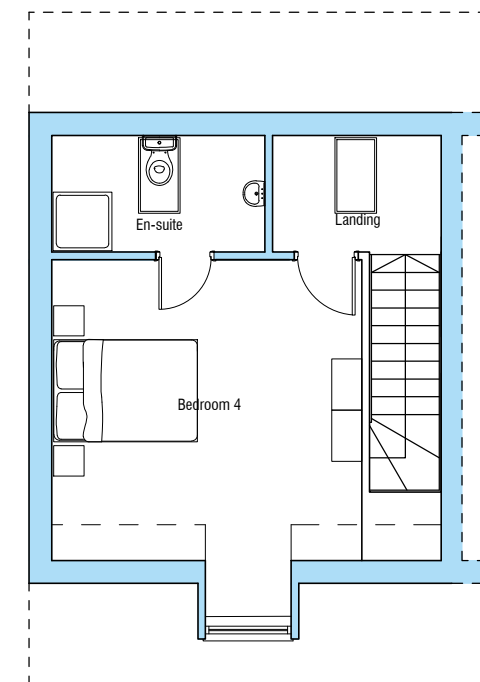
CHIMNEYS ARE NOT STANDARD, AND ONLY ON SPECIFIED PLOTS



Ground Floor Plan



First Floor Plan



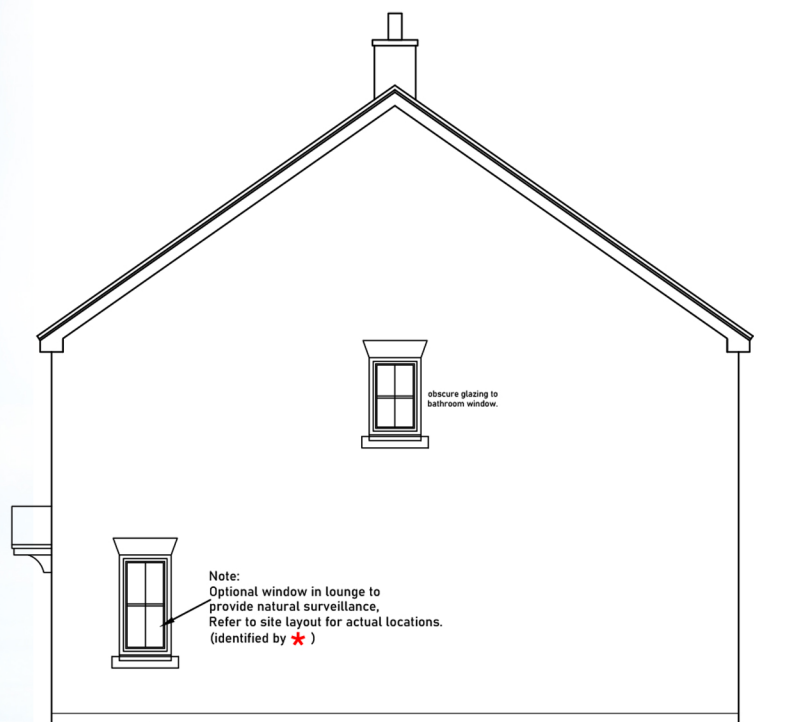
Second Floor Plan

House Type - S431

Floor Plans



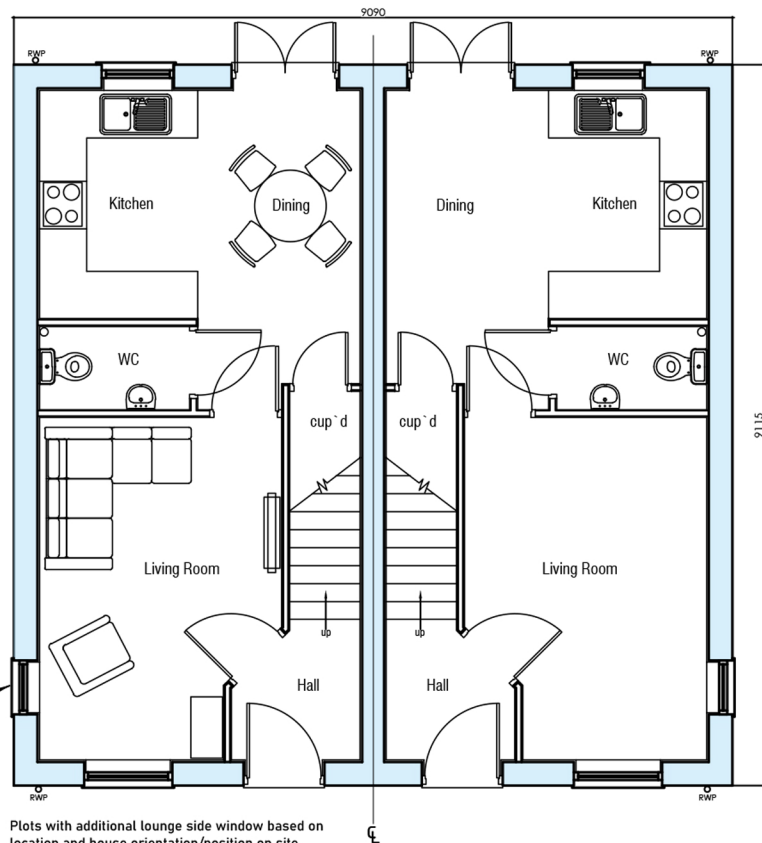
Front Elevation



Right Side Elevation

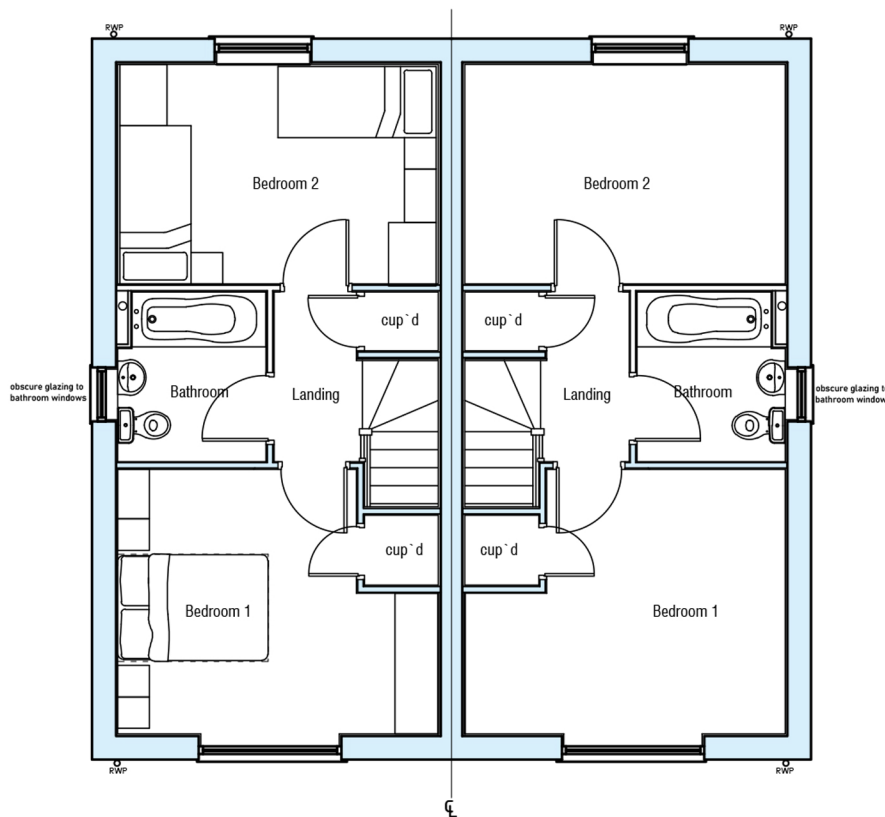


Rear Elevation

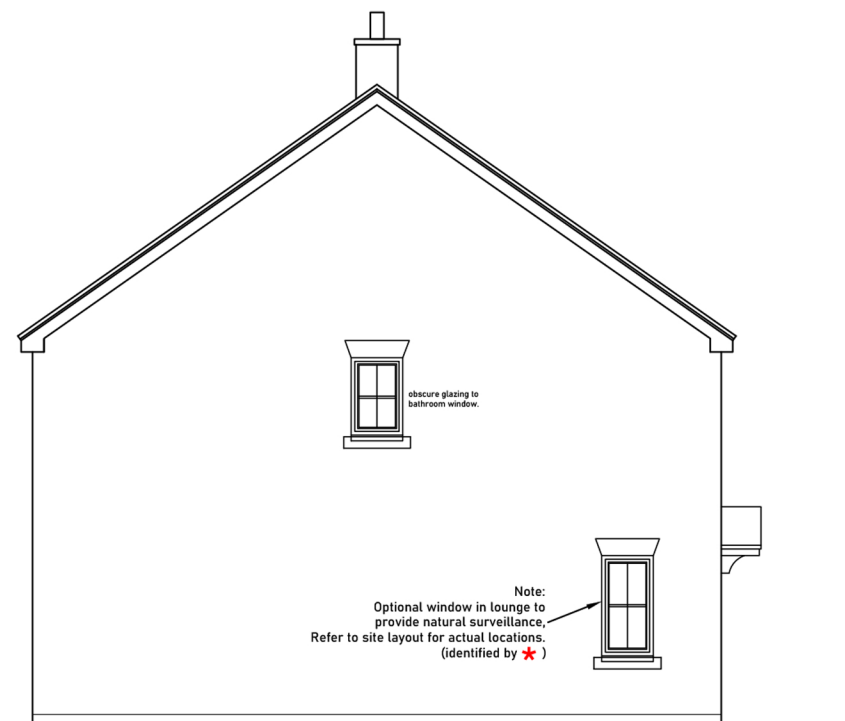


Ground Floor Plan

Total Floor Area - 69.94 m² / 752.84 ft²



First Floor Plan



Left Side Elevation

House Type S213 V3

Floor Plans & Elevations

