

Case No: 1101267OUT (OUTLINE APPLICATION)

Proposal: ERECTION OF AGRICULTURAL FARM HOUSE WITH OFFICES, OUTBUILDING AND LIVESTOCK BARN

Location: LAND SOUTH OF FOLKSWORTH LODGE FOLKSWORTH ROAD NORMAN CROSS

Applicant: L BLACKMAN AND SONS

Grid Ref: 515684 290234

Date of Registration: 19.08.2011

Parish: FOLKSWORTH AND WASHINGLEY

RECOMMENDATION - REFUSE

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site relates to land in the countryside west of the A1, north of Stilton and south of the Norman Cross A1(M) roundabout. The site adjoins buildings used for rearing beef cattle, and is accessed off the road between Stilton and the Norman Cross roundabout to the north and by means of a second access from Folksworth Road, to the north.
- 1.2 The proposal seeks outline consent for the erection of a dwelling and an outbuilding to provide kennels, stable and wood store with all matters reserved. The application includes indicative elevations and floor plans for the dwelling, showing a two storey, 'T' shaped dwelling with a single storey side projection. No information has been given in relation to the outbuilding except the inclusion of the building on the site plan.
- 1.3 From the plans, and confirmed in email by Agent, the scale parameters proposed are:
- Main body of the dwelling:
- * Width – 7.8m
 - * Length – 13.4m
 - * Height to eaves – 4.98m
 - * Height to ridge – 8.16m
- Two storey rear extension:
- * Width – 4.8m
 - * Length – 6.1m
 - * Height to eaves – 4.982m
 - * Height to ridge – 7.54m
- 1.4 One-and-a-half storey side extension:

- * Width – 7.6m
- * Length – 8m
- * Height to eaves – 3.9m
- * Height to ridge – 6.99m

Building to provide kennels, stable and wood store:

- * Width – 6.0m
- * Length – 9.2m
- * Height to eaves – 2.5m
- * Height to ridge – 3.7m

1.5 Additionally, a new livestock barn is proposed to adjoin the existing barn. The scale parameters proposed for this are:

- * Width - 19.6m
- * Length - 24.55m
- * Height to eaves – 4.9m
- * Height to ridge – 6.65m

1.6 The application is supported by a 'Design and Access Statement' and 'Appraisal of the need for a new agricultural dwelling at Sheep Lair Farm, Norman Cross'.

1.7 This application is before the Panel at the request of Councillor Guyatt as he believes that there some issues that should be considered by the Development Management Panel, so as to help with other similar applications in the countryside.

2. NATIONAL GUIDANCE

2.1 **PPS1: "Delivering Sustainable Development" (2005)** contains advice on the operation of the plan-led system.

2.2 **PPS3: "Housing" (2011)** sets out how the planning system supports the growth in housing completions needed in England.

2.3 **PPS7: "Sustainable Development in Rural Areas" (2004)** sets out the Government's planning policies for rural areas, including country towns and villages and the wider, largely undeveloped countryside up to the fringes of larger urban areas.

2.4 **PPG13: "Transport" (2011)** sets out the objectives to integrate planning and transport at the national, strategic and local level and to promote more sustainable transport choices both for carrying people and for moving freight.

2.5 **Draft National Planning Policy Framework: Consultation (2011)** - sets out the Government's key economic, social and environmental objectives and the planning policies to deliver them. The intention is that these policies will provide local communities with the tools they need to energise their local economies, meet housing needs, plan for a low-carbon future and protect the environmental and cultural landscapes that they value. It seeks to free communities from unnecessarily prescriptive central government policies, empowering local councils to deliver innovative solutions that work for their local area.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **SS1:** “Achieving Sustainable Development” – the strategy seeks to bring about sustainable development by applying: the guiding principles of the UK Sustainable Development Strategy 2005 and the elements contributing to the creation of sustainable communities described in Sustainable Communities: Homes for All.
- **T14:** “Parking” – controls to manage transport demand and influencing travel change alongside measures to improve public transport accessibility, walking and cycling should be encouraged. Maximum parking standards should be applied to new residential development.
- **ENV7:** “Quality in the Built Environment” - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.
- **WAT4:** “Flood Risk Management” – River flooding is a significant risk in parts. The priorities are to defend existing properties from flooding and locate new development where there is little or no flooding.

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

- None relevant

3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at www.huntingdonshire.gov.uk/localplan95

- **H23:** “Outside Settlements” – general presumption against housing development outside environmental limits with the exception of specific dwellings required for the efficient management of agriculture, forestry and horticulture.

- **H31:** “Residential privacy and amenity standards” – Indicates that new dwellings will only be permitted where appropriate standards of privacy can be maintained and adequate parking provided.
- **En17:** "Development in the Countryside" - development in the countryside is restricted to that which is essential to the effective operation of local agriculture, horticulture, forestry, permitted mineral extraction, outdoor recreation or public utility services.
- **En20:** Landscaping Scheme. - Wherever appropriate a development will be subject to the conditions requiring the execution of a landscaping scheme.
- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.
- **CS8:** “Water” – satisfactory arrangements for the availability of water supply, sewerage and sewage disposal facilities, surface water run-off facilities and provision for land drainage will be required.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at www.huntingdonshire.gov.uk/localplan - Then click on "Local Plan Alteration (2002)

- **HL5** – Quality and Density of Development - sets out the criteria to take into account in assessing whether a proposal represents a good design and layout.

3.5 Policies from the Huntingdonshire Local Development Framework Adopted Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning and then click on Planning Policy where there is a link to the Local Development Framework Core Strategy.

- **CS1:** “Sustainable development in Huntingdonshire” – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development.
- **CS3:** “The Settlement Hierarchy” – identifies Folksworth as a smaller settlement in which residential infilling will be appropriate within the built up area. Outside of the built up area is part of the countryside within which residential development will be strictly limited to that which has an essential need to be located in the countryside.

3.6 Policies from Development Management DPD Submission 2010

- **C1:** “Sustainable Design” – development proposals should take account of the predicted impact of climate change over the expected lifetime of the development.

- **E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.
- **E2:** “Built-up Areas” – development will be limited to within the built-up areas of the settlements identified in Core Strategy policy CS3, in order to protect the surrounding countryside and to promote wider sustainability objectives.
- **E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development.
- **P7:** “Development in the Countryside” – development in the countryside is restricted to those listed within the given criteria.
 - a. essential operational development for agriculture, horticulture or forestry, outdoor recreation, equine-related activities, allocated mineral extraction or waste management facilities, infrastructure provision and national defence;
 - b. development required for new or existing outdoor leisure and recreation where a countryside location is justified;
 - c. renewable energy generation schemes;
 - d. conservation or enhancement of specific features or sites of heritage or biodiversity value;
 - e. the alteration, replacement, extension or change of use of existing buildings in accordance with other policies of the LDF;
 - f. the erection or extension of outbuildings ancillary or incidental to existing dwellings;
 - g. sites allocated for particular purposes in other Development Plan Documents.

3.7 Huntingdonshire Landscape and Townscape Assessment (2007)

3.8 Huntingdonshire Design Guide (2007)

4. PLANNING HISTORY

4.1 9900411FUL – erection of agricultural building – permission GRANTED

4.2 0500055OUT – erection of agricultural dwelling and details of siting and design of stock building – permission GRANTED

4.3 0600752S73 – variation of condition 14 of 0500055OUT (agricultural occupancy condition on Manor Farm) – permission GRANTED

4.4 110118OUT – erection of agricultural farmhouse with offices, outbuilding, and livestock barn – permission GRANTED; this permission allows a dwelling with a floor area of approximately 267.6sqm (gross external), the scale and height of the main dwelling and rear extension was largely the same as now proposed. The side extension was only single storey and to provide accommodation in connection with the farm and therefore was not taken into consideration in floor area calculations (copies of plans attached).

5. CONSULTATIONS

- 5.1 **Folksworth and Washingley Parish Council** – Neither for nor against this application. “It was agreed that as no objections were lodged against the initial application which was permitted and the footprint of the house remained the same, no objections would be lodged against this application. It was felt that the barn was in keeping with the application”. (COPY ATTACHED)
- 5.2 **Highways Agency (HA)** – does NOT OBJECT to the proposal as it is unlikely to have a detrimental effect on the A1 Trunk Road.
- 5.3 **Cambridgeshire County Council Highways Officer** – NO OBJECTIONS

6. REPRESENTATIONS

- 6.1 No comments received within the consultation period.

7. SUMMARY OF ISSUES

- 7.1 The main issues to consider in the determination of this application are the principle of development and the impacts upon the character and appearance of the area, residential amenity and highway safety.

Principle of Development

- 7.2 This site is in the open countryside, where development should be strictly controlled and limited to that which is essential to the efficient operation of local agriculture and other rural activities. Each application should be accompanied by a specific justification, setting out the need for the development in that particular location. Policies H23, En17 and P7, referred to above, identify the types of development which would be acceptable in a countryside location.
- 7.3 Guidance on the provision of new permanent agricultural dwellings in the countryside can be found in the annex A of PPS7, where the tests against which applications for both permanent and temporary dwellings should be judged are specified. Permanent dwellings should only be allowed to support existing agricultural activities on well-established units providing:-
- (i) There is a clearly established existing functional need, that is it is essential for the proper functioning of the enterprise for one or more workers to be readily available at most times, for example, to deal quickly with emergencies that could otherwise cause serious loss of crops by the failure of automatic systems.
 - (ii) The need relates to a full-time worker, or one who is primarily employed in agriculture;
 - (iii) The unit and the agricultural activity concerned have been established for at least three years, have been profitable for at least one of them, are currently financially sound, and have a clear prospect of remaining so;
 - (iv) The functional need could not be fulfilled by another existing dwelling on the unit, or any other existing accommodation in the area which is suitable and available; and

(v) Other planning requirements, e.g. in relation to access, or impact on the countryside, are satisfied.

- 7.4 The previous permission in June 2011 (1100118OUT) was supported by accounts and it was accepted at that time that there was a clear existing established functional need for a new dwelling for one full-time worker and livestock building; the unit has been established for more than three years, has been profitable in the past three years, is currently financially sound, and has a clear prospect of remaining so; and that there are no other acceptable dwellings within the applicants control which would meet the functional need. Whilst this application is not supported by an updated appraisal, or any account records, it is not considered that these principles have changed for the application site and therefore no objections are raised on these grounds.
- 7.5 The financial test required by PPS7 further requires that agricultural dwellings be of a size commensurate with the established functional requirement of the farm in terms of the affordability of the dwelling. Previous guidance from Reading Agricultural Consultants in association with the site and general proposals, has suggested that agricultural dwellings generally range from 140 to 180 square metres (internal floor space) with an average size of around 150 sq m.
- 7.6 The approved dwelling indicated a floor area of approximately 267.6sqm (gross external) and the indicative floor plans showed four bedrooms with one family bathroom; it was acknowledged that this was large for an agricultural dwelling and exceeded that required by the one person identified by the functional test. Notwithstanding this, the financial viability of the holding was noted and whilst not an express requirement to consider, the size of the family and the need to occasionally provide accommodation for agricultural students were also acknowledged. On this basis, planning permission was granted subject to conditions removing Permitted Development Rights for extensions and alterations, and a restriction on the use of the roofspace for habitable accommodation.
- 7.7 The dwelling now sought indicatively incorporates a plant room, ensuite and landing area above the garage and office and includes a fifth bedroom with an additional space for a sixth bedroom/storage within the second floor; the proposed scale parameters as shown on the plans results in a floor area (excluding office, workshop/store and corridor/cloak) of approximately 360.82 square metres, which is an increase of approx. 34.84%. The Design and Access Statement indicates that English housing condition guidance and energy certificates say that spaces such as boiler rooms and storage are not classed as "living areas", and therefore should be excluded. Whilst the comments relating to excluding boiler rooms i.e. the proposed plant room in this instance, are noted, this is not planning guidance and the Local Planning Authority has no control over that space being used for the plant room purpose as illustrated with this application. It is therefore considered that for the purposes of determining this application, the space should be included. Furthermore, it is noted that provision of boilers and plant generally takes place in alternative spaces including loft space; the condition on the original consent only removes the rights relating to the use of the loftspace for habitable accommodation, this would not restrict the applicant fitting the plant room now proposed into the approved dwelling.

- 7.8 The 'Appraisal of the need for a new agricultural dwelling at Sheep Lair Farm, Norman Cross' prepared for application 1100118OUT and resubmitted as part of this application refers to a dwelling with floor area of 220 sq m and states that the farm can financially support the build costs of £1100/m²; this differs from the submitted plans which now show a floor area of 360.82 sq m.
- 7.9 The applicant has provided no information to justify the uplift in floor area which results in a dwelling that is far in excess of the requirements for one full time worker required according to the previous functional need assessment.
- 7.10 It is therefore considered that no functional requirement for a larger dwelling has been proven and to permit the dwelling size now proposed, would increase the dwelling's value in the longer term which could prejudice the ability of any future occupier to afford the agriculturally tied dwelling. It is therefore considered that this dwelling size has not been dictated by the needs of the holding but rather by the needs of the applicant, such that it is contrary to PPS7 guidance and represents an inappropriate form of development.

Character and Appearance of the Area

- 7.11 The slight relocation to the northern border of the proposed curtilage to ensure no conflict with the overhead power lines is considered acceptable. As with the extant permission, the dwelling would be suitably located near the existing and proposed livestock building; the built form in the locality would assist in minimising the intrusion on the countryside and ensure that the farm buildings do not represent a sprawling form of development.
- 7.12 The application is outline with all matters reserved; the scale parameters submitted for the main dwellinghouse relate to a well proportioned dwelling which has a subservient rear addition in accordance with the Huntingdonshire Design Guide (2007) and is of a scale that will be appropriate in this locality. The alteration in scale with this application compared to the approved dwelling is the increase in the eaves and ridge height of the side extension by 1.35m and 1.34m respectively. Whilst still subservient to the main dwelling, this is not considered to be well proportioned given the proposed width (8m) and height (6.95m), which results in a bulky addition that does not compliment the scale of the proposed dwelling, and would increase the impact of the dwelling to the detriment of this rural location where development should be strictly controlled.
- 7.13 Matters relating to detailed design and materials would be subject to future Reserved Matters application(s) if permission was granted.
- 7.14 The outbuilding will provide suitable storage arrangements for the dwelling and will not appear out of keeping in the rural location.
- 7.15 The new livestock barn extension is considered appropriate in this instance as it is rural in character and represents an appropriate form of development. Furthermore, the existing buildings will help to shield the extension and again, will ensure that the built form is contained to one area.

Residential Amenity

- 7.16 Given the relatively isolated location, it is not considered that the proposed buildings or their use will have a detrimental impact upon residential amenity.

Therefore, no Officer objections are raised in this regard.

Highway Safety

- 7.17 It is considered that there would be no undue effects if the development were approved and there has been no objection from the County Highways Officer. The Highways Agency is also satisfied that there will be no adverse impacts upon the A1 Trunk Road.

Therefore, no Officer objections are raised in this regard either.

Other Matters

- 7.18 The recommendation from the Parish Council is noted, however following an initial telephone conversation to the Clerk it became apparent that the Parish Council were not aware that the application does in fact seek additional habitable accommodation. Given this telephone discussion, the formal comments received do reflect that “material changes to the original application had not been noted or discussed”.

Conclusion

- 7.19 Having regard for applicable national and local policies and having taken all relevant material considerations into account, it is considered that planning permission should be refused in this instance as there is no justification for the erection of an agricultural dwelling of this size in accordance with Annexe a of PPS7.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

8. RECOMMENDATION – REFUSE for the following reasons

The applicant has failed to demonstrate that there is a functional requirement for a dwelling of the size proposed and therefore to permit the dwelling size now proposed would increase the dwelling’s value (in comparison to the dwelling approved under reference 1100118OUT) in the longer term which could prejudice the ability of any future occupier to afford the agriculturally tied dwelling. It is therefore considered that this dwelling size has not been dictated by the needs of the holding but rather by the needs of the applicant, such that it is contrary to PPS7 Annexe A and represents an unjustified scale of development in this countryside location contrary to policy E1 of the Huntingdonshire LDF Development Management DPD: Proposed Submission 2010.

CONTACT OFFICER:

Enquiries about this report to **Ms Charlotte Fox Assistant Development Management Officer 01480 388457**

Mullord, Peter (Planning Services)

From: Folksworth Parish Clerk [folksworthpc@deltagamma.co.uk]

Sent: 21 September 2011 12:46

To: DevelopmentControl

Subject: Application 1101267OUT

1101267OUT

Erection of agricultural farm house with offices, outbuilding and livestock barn.
Land south of Folksworth Lodge, Folksworth Rd, Norman Cross.

It was agreed that as no objections were lodged against the initial application which was permitted and the footprint of the house remained the same no objections would be lodged against this application. It was felt the barn was in keeping with the application.

Decision: Neither for nor against this application

PLEASE NOTE THAT IS HAS SINCE BEEN ESTABLISHED THAT NOT ALL THE INFORMATION HAD BEEN MADE AVAILABLE TO COUNCIL AND MATERIAL CHANGES TO THE ORIGINAL APPLICATION HAD NOT BEEN NOTED OR DISCUSSED.

Regards
Jackie

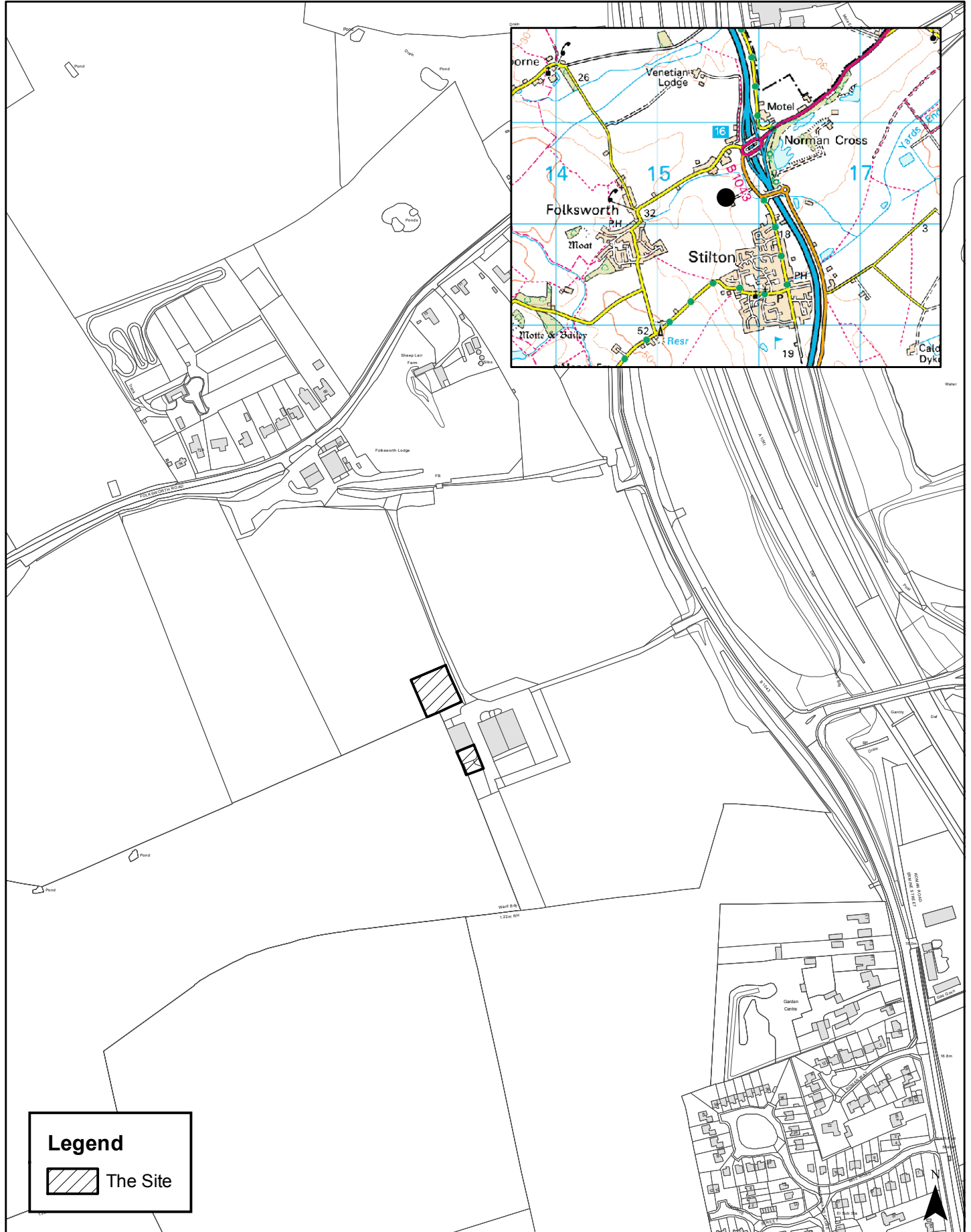
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Development Management Panel

Application Ref: 1101267OUT

Location: Folksworth and Washingly

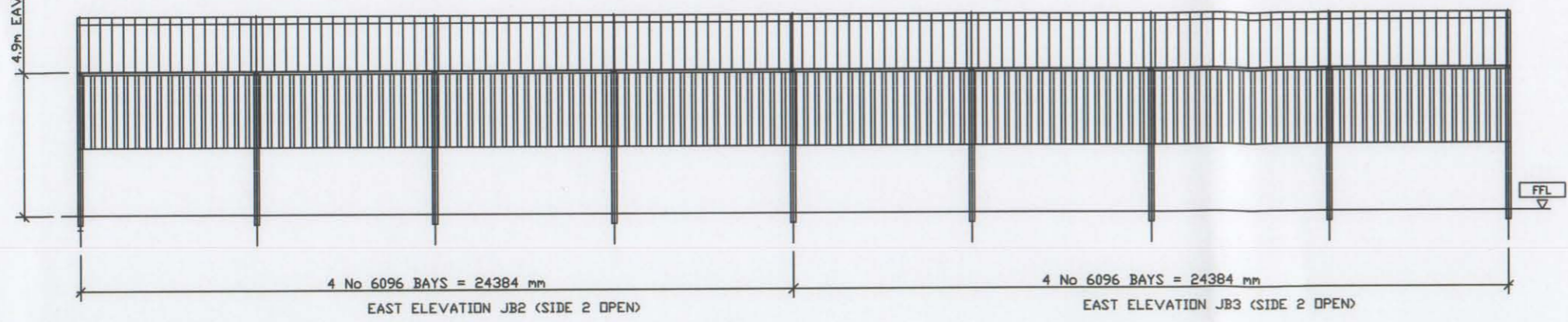
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4.9m EAVES HEIGHT

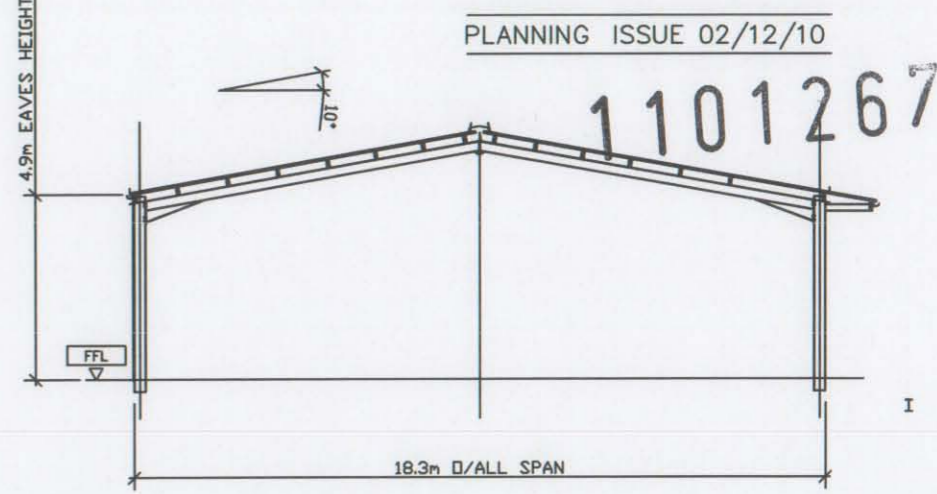


**Proposed JB2 and JB3
East Elevation 1:200**

Scale Bar 1:200

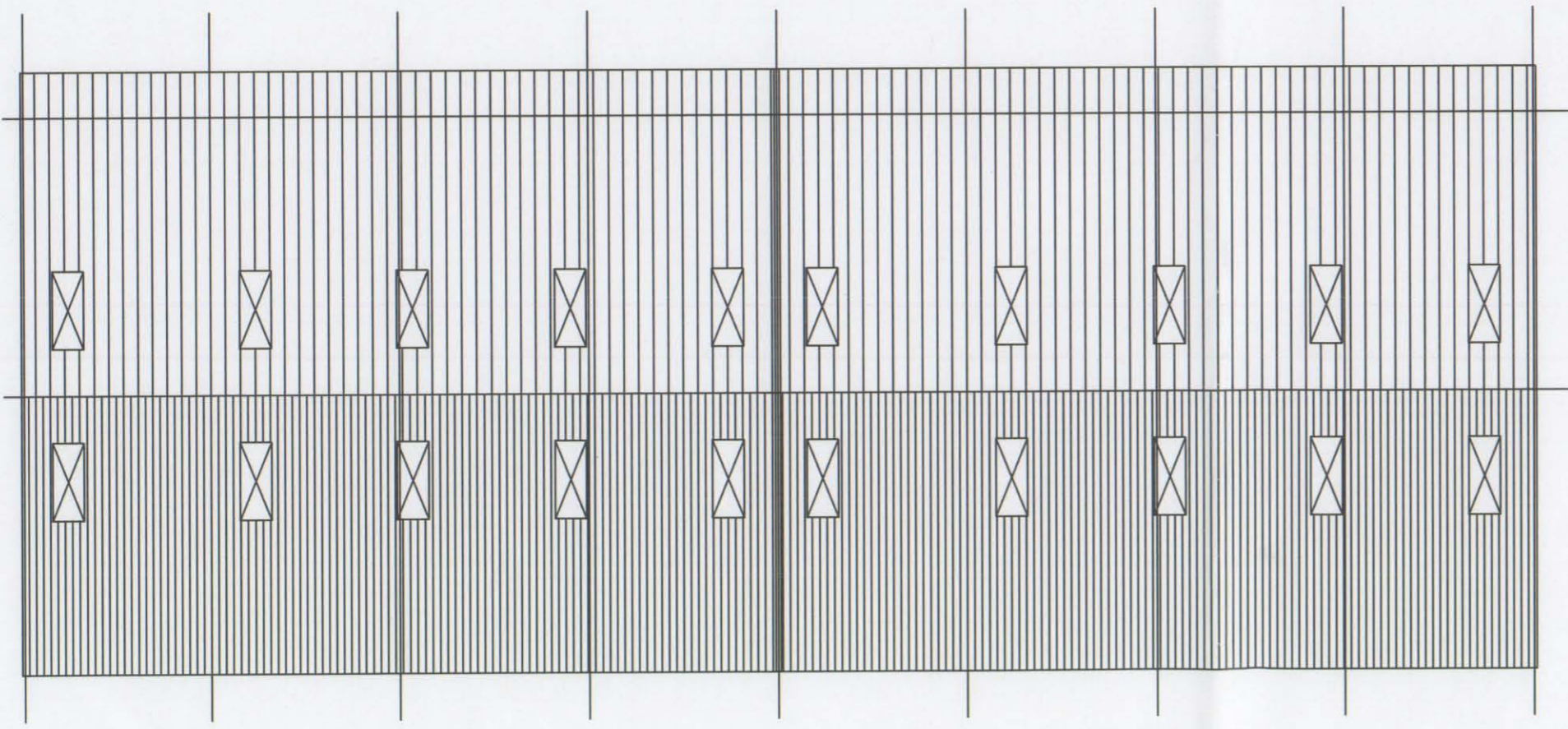
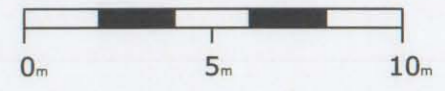


4.9m EAVES HEIGHT



**Proposed JB3
South Elevation
1:200**

Scale Bar 1:200



JB3 Roof Plan

JB2 Roof Plan

**Proposed JB2 and JB3
Barn Roof Plan 1:200**

Scale Bar 1:200



ENVIRONMENTAL & COMMUNITY SERVICES
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Rev No.	Detail	Date	Checked



Project
 Blackman Farm House
 And Proposed Barn JB3
 Folksworth
 CAMBS

Drawing
 Proposed Barn
 Plans and Elevations

Scale	Date	Drawn
@A3	11/02/10	AP
Project No.	Drawing No.	Checked
PE581	PL01	AP

Revisions
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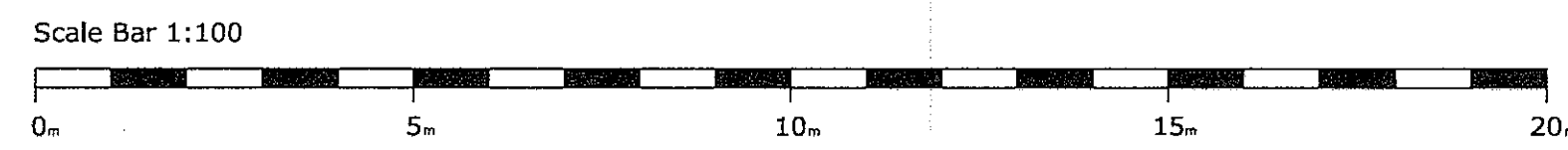
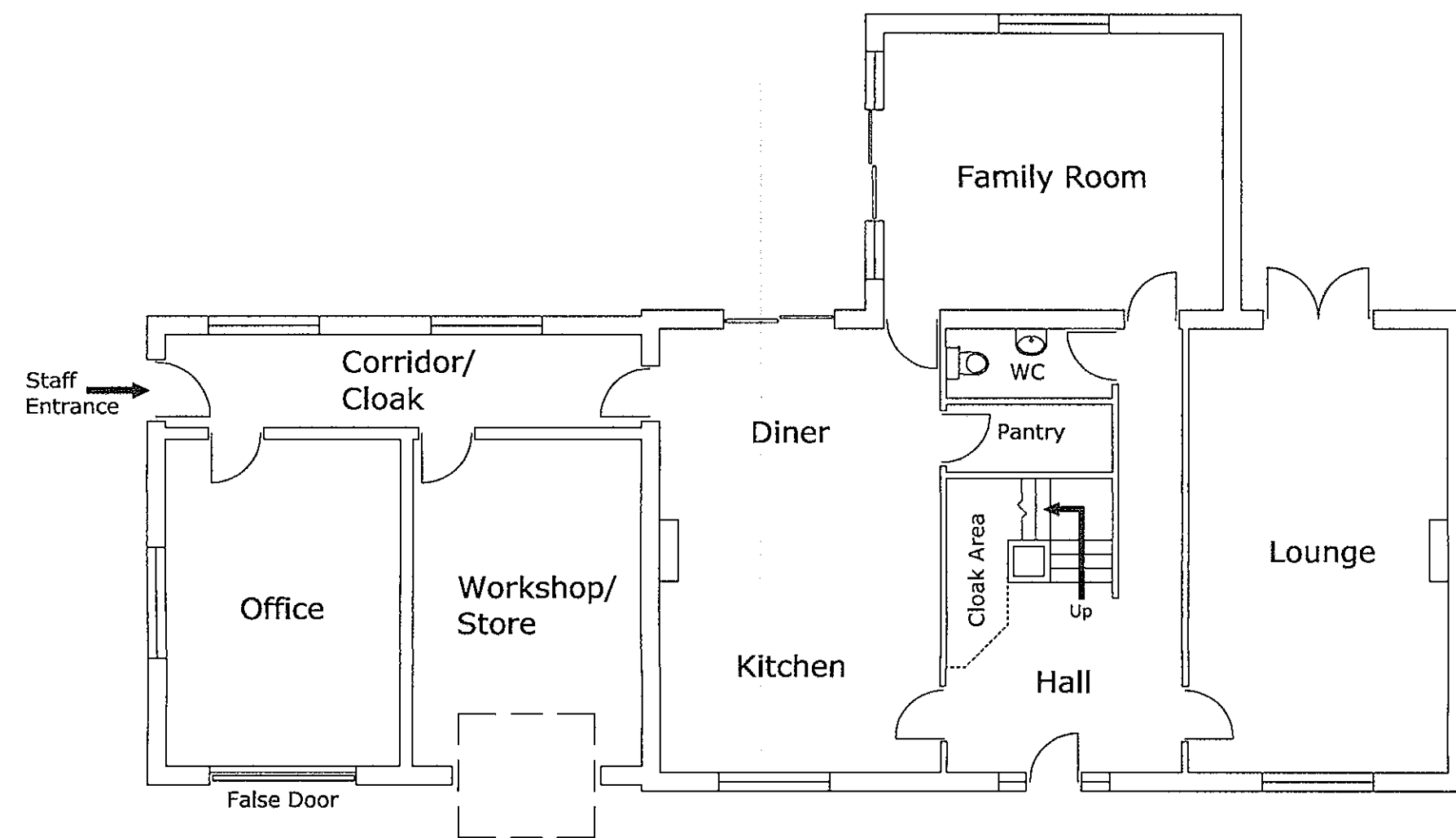
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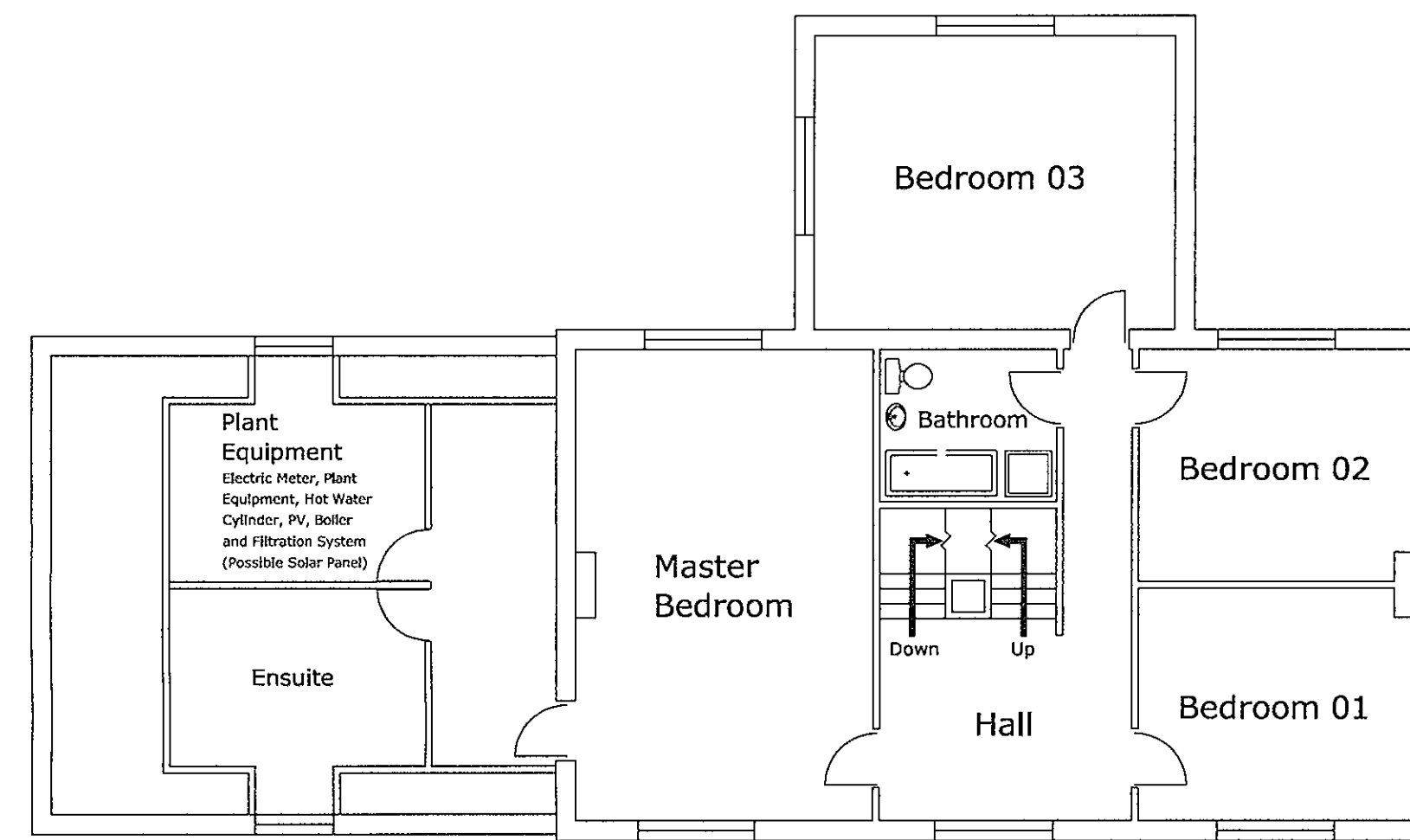
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PRELIMINARY ISSUE 28/07/11

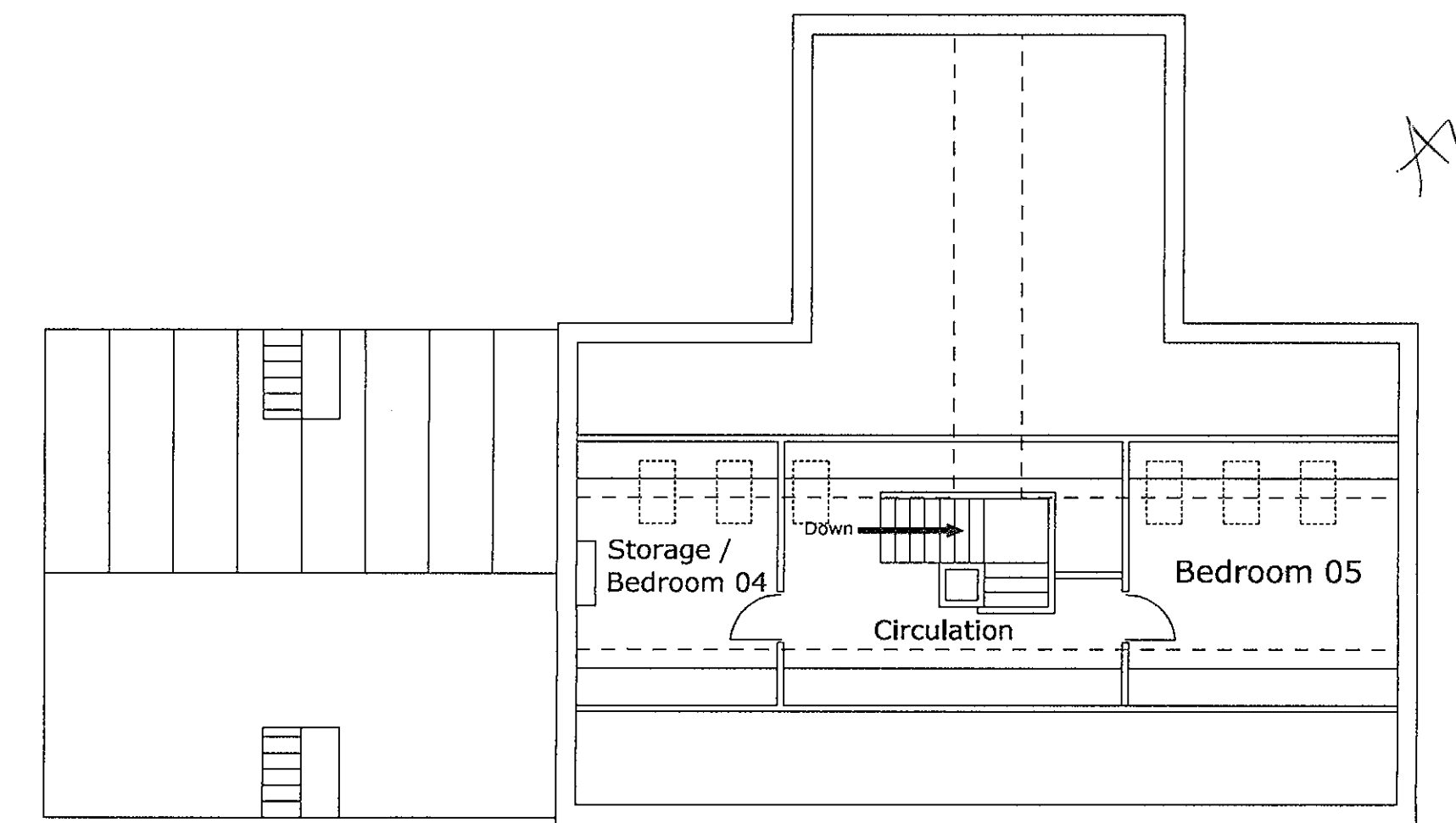
Proposed Ground Floor Plan 1:100



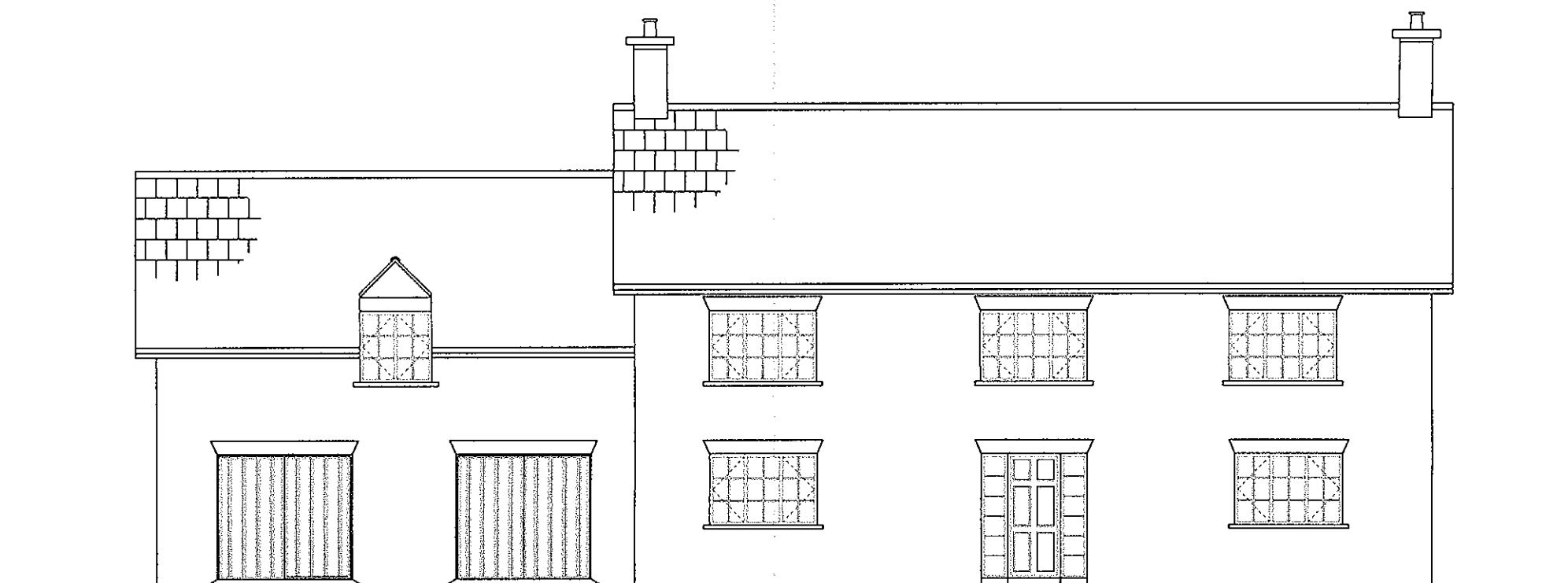
Proposed First Floor Plan 1:100



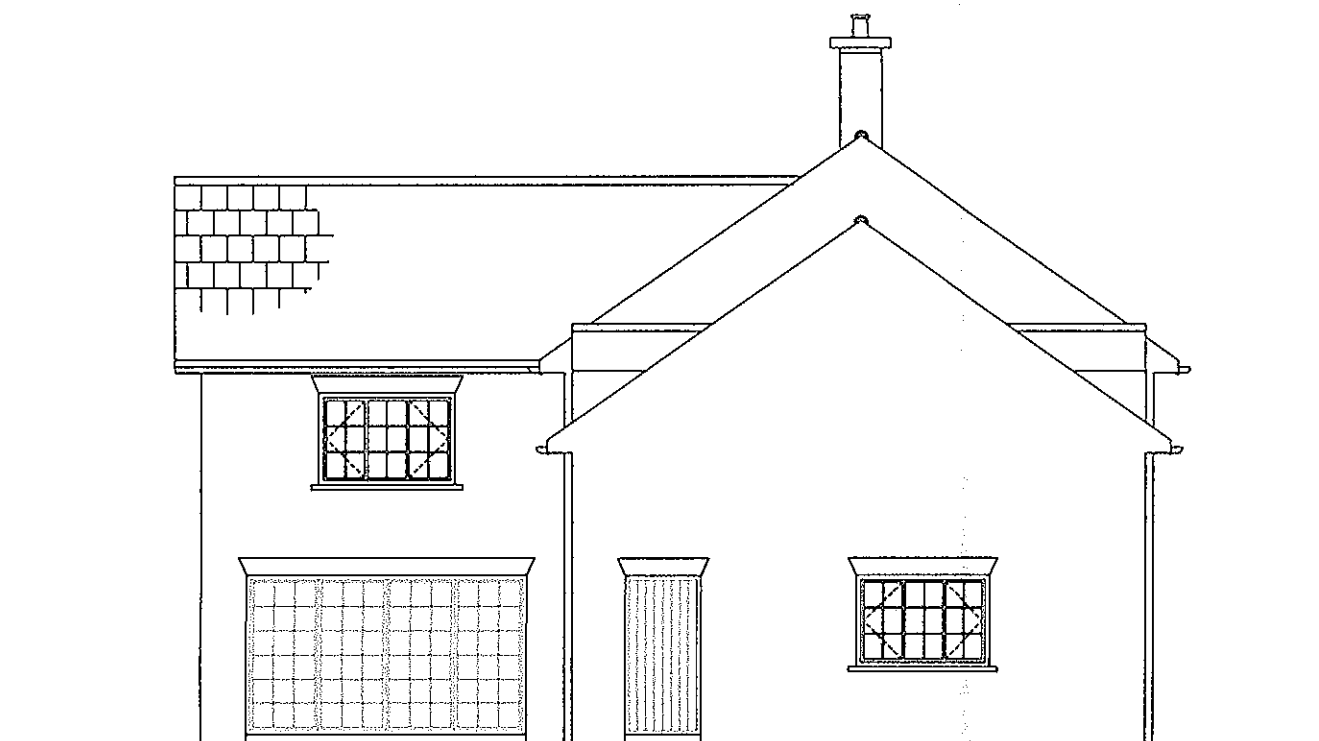
Proposed Second Floor Plan 1:100



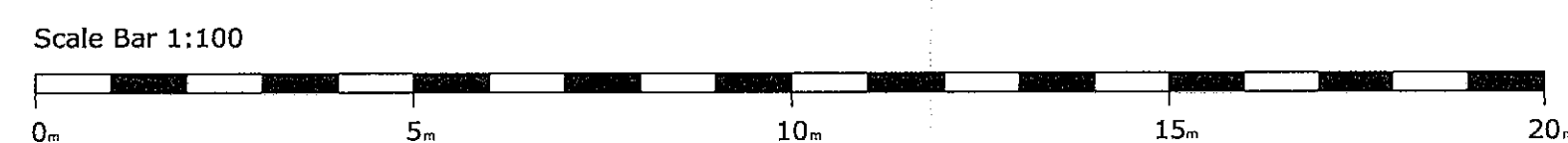
Proposed (Front) East Elevation 1:100



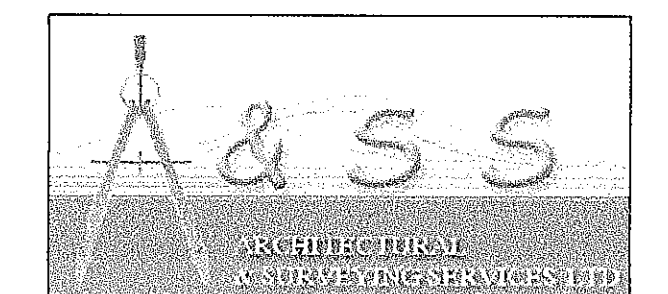
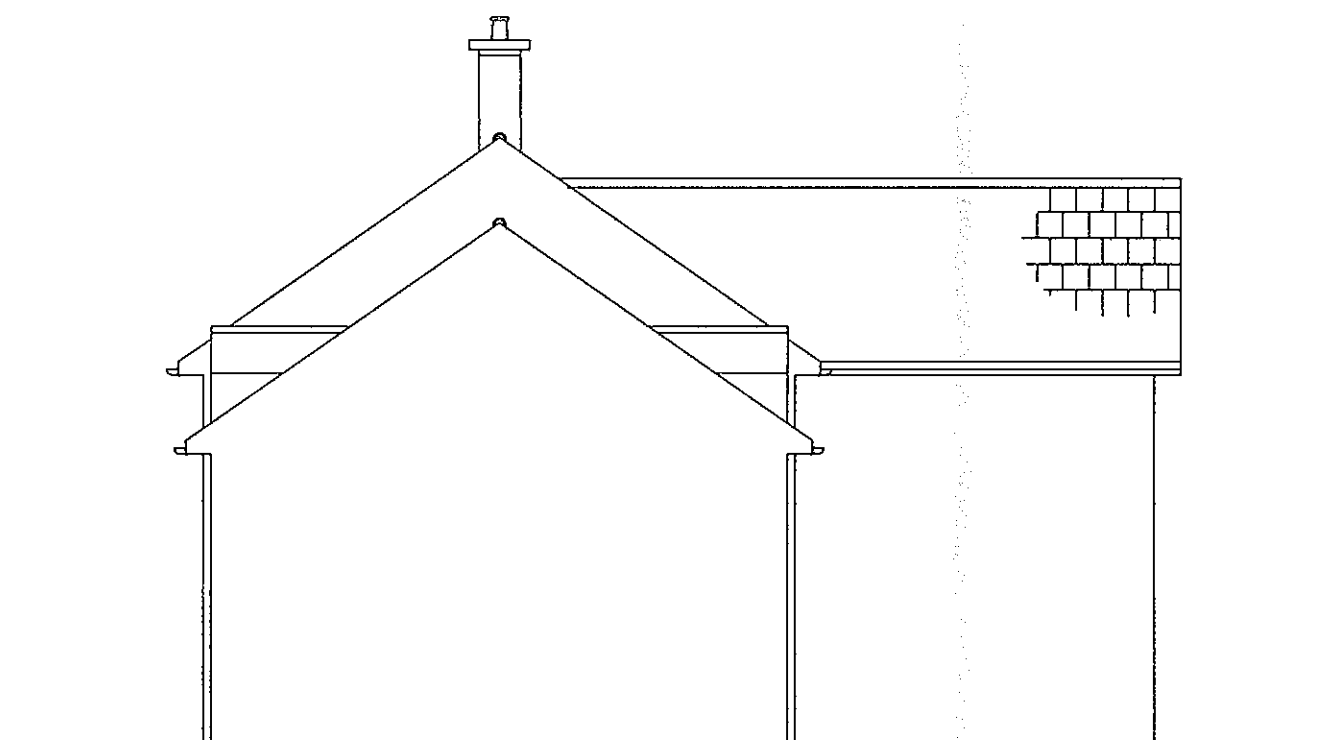
Proposed South Elevation 1:100



Proposed (Rear) West Elevation 1:100



Proposed North Elevation 1:100



Project
**Blackman Farm House And
 Proposed Barn JB3
 Folksworth
 CAMBS**

Drawing
Floor Plans and Elevations

Scale @A1	Date 28/07/11	Drawn AP
Project No. PE851	Drawing No. PL10	Checked AP

Rev	Detail	Date	Check
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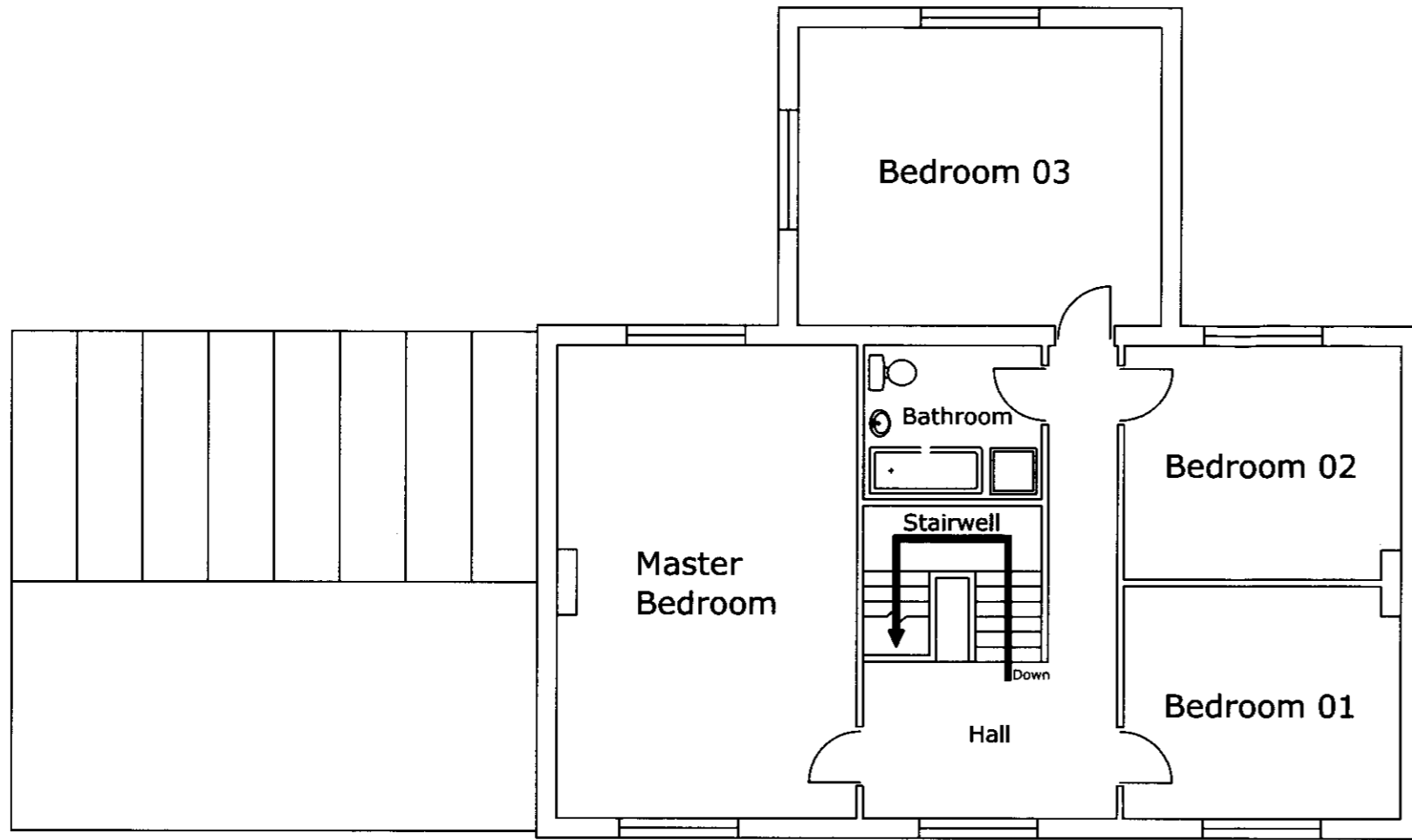
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GREEN PAPERS FOLLOW

Option B Alternate First Floor Plan 1:100

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PLANNING ISSUE 27/04/11

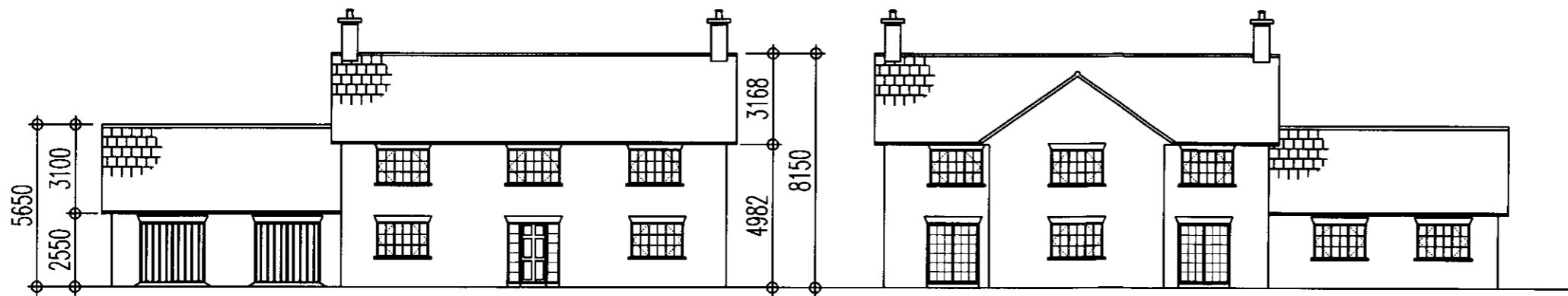


Scale Bar 1:100



*11 001180UT
 rec'd by email 20/5/11
 AMENDED.*

Option B Alternate Elevations 1:200



Front Elevation

Rear Elevation

Scale Bar 1:200



Rev No.	Detail	Date	Checked
A	Dimms	19/05/11	AP



Project
 Blackman Farm House
 Folksworth
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Drawing
 Option B
 Alternate Plans

Scale	Date	Drawn
@A3	27/04/10	AP
Project No.	Drawing No.	Checked
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Revisions
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